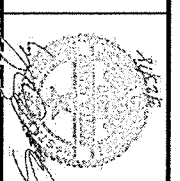


DESIGNED BY:	MAB/CEA
DRAWN BY:	JLC
CHECKED BY:	PAB/TPB
APPROVED BY:	SAS
DATE:	MARCH, 2015
NO.	
REVISION	

ATKINS

11801 DOMINION BOULEVARD, SUITE 500
 AUSTIN, TEXAS 78758 • (512) 327-6846
 TSP REG. NO. 7474



ZILKER PARK
 AUSTIN CITY LIMITS STAGING AREA
 SITE DEVELOPMENT PERMIT PLANS

EXISTING CONDITIONS AND DEMOLITION PLAN

SHEET NO.	3
OF	29 SHEETS
FILE NO.	53691-03-DEMO
PROJECT NO.	100053691

BENCHMARK USED
 TEXAS COORDINATE SYSTEM, CENTRAL ZONE, NAD83 (GRID) COORDINATES, AS REFERENCED TO THE CITY OF AUSTIN MONUMENT NO. N-2-2401, PER CONTROL ESTABLISHED WITH VRS GPS OBSERVATIONS.

BORES COMPLETED/PROVIDED
 03/10/2017

BORING NO.	DEPTH OF LANDFILL
B-1	N/A*
B-2	N/A*
B-3	N/A*
B-4	N/A*
B-5	N/A*
B-7	5.5
B-8	4
B-9	N/A*
B-12	5.5
B-15	5
B-16	4.5
B-22	5
B-23	5
B-24	6
B-25	3
B-26	N/A*

*NO LANDFILL FOUND

NOTES

- THE INFORMATION SHOWN ON THESE DRAWINGS INDICATING THE SIZE, TYPE, AND LOCATION OF ANY UNDERGROUND, SURFACE, AND AERIAL UTILITIES OR OTHER EXISTING FEATURES IS NOT GUARANTEED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT THE AUSTIN AREA "ONE CALL" SYSTEM (1-800-344-8377) FOR EXISTING UTILITY LOCATIONS AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION. THE CONTRACTOR SHALL ALSO BE FULLY RESPONSIBLE FOR FIELD VERIFYING LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES AFFECTED BY THIS PROJECT'S CONSTRUCTION, IN ORDER TO AVOID DAMAGING THOSE UTILITIES, AND SHALL IMMEDIATELY ARRANGE FOR REPAIR AND RESTORATION OF CONTRACTOR-DAMAGED UTILITIES, TO THE SATISFACTION OF THE UTILITY COMPANY, AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL USE CARE AND NOT DAMAGE ANY EXISTING SIDEWALKS, DRIVES, STREETS, OR OTHER FEATURES, THAT ARE NOT PART OF THIS PROJECT. ANY CONTRACTOR DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE.
- THIS SURVEY WAS COMPLETED ON THE GROUND FEBRUARY 13, 2017 BY ATKINS.
- WITHIN PROJECT LIMITS, 100-YEAR FEMA FLOODPLAIN IS EQUIVALENT TO 100-YEAR CITY OF AUSTIN FULLY-DEVELOPED FLOODPLAIN.
- A PRECONSTRUCTION MEETING WITH THE ENVIRONMENTAL INSPECTOR IS REQUIRED PRIOR TO ANY SITE DISTURBANCE.
- THE CONTRACTOR SHALL USE CARE AND NOT DAMAGE THE EXISTING 8" CAST IRON (C.I.) WATER LINE. ANY CONTRACTOR DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

- LEGEND**
- pp EXISTING POWER POLE
 - EXISTING GUY WIRE
 - EXISTING GAS METER
 - EXISTING FIRE HYDRANT
 - WM EXISTING WATER METER
 - EV EXISTING ELECTRIC VAULT
 - IRS ○ 5/8" IRON ROD SET W/ATKINS CAP
 - EXISTING TREE TO REMAIN
 - EXISTING TREE TO BE REMOVED
 - EXISTING EDGE OF ASPHALT
 - W- EXISTING WATER LINE
 - G- EXISTING GAS LINE
 - SD- EXISTING STORM DRAIN LINE
 - IRR- EXISTING IRRIGATION LINE
 - E- EXISTING ELECTRICAL
 - CWQZ- EXISTING WATER QUALITY ZONE
 - LDF- EXISTING LANDFILL BOUNDARY
 - FP- EXISTING FLOOD PLAIN
 - LOC- LIMITS OF CONSTRUCTION
 - WTLD EXISTING WETLANDS
 - EXISTING STONE TO BE REMOVED
 - SF SILT FENCE PER 642S-1 (SHEET 19)
 - TP TREE PROTECTION FENCE PER 610S-4 (SHEET 4)
 - RB ROCK BERM PER 639S-1 (SHEET 19)
 - SCE STABILIZED CONSTRUCTION ENTRANCE PER 641S-1 (SHEET 19)
 - X X TEMPORARY CONSTRUCTION FENCE PER 610S-4 (SHEET 4)
 - TYPE I, TURBIDITY CURTAIN PER FIGURE 1.4.5.P.1., SHEET-19

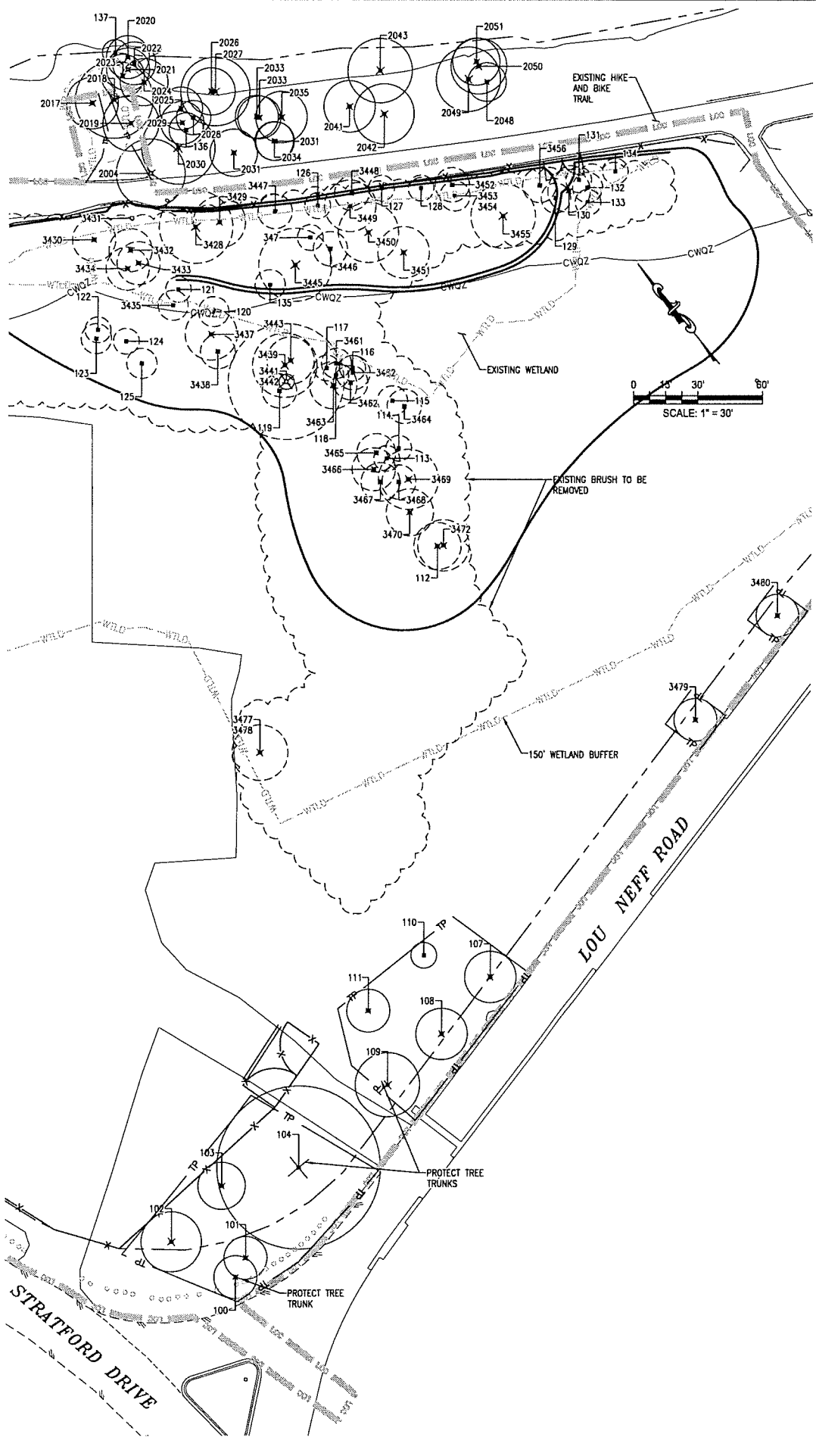
THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 3 of 29
 FILE NUMBER: BPC-2017-0482C APPLICATION DATE: 11/27/2017
 APPROVED BY COMMISSION ON UNDER SECTION 142 OF CHAPTER 25-6 OF THE CITY OF AUSTIN CODE.
 EXPIRATION DATE (25-5-81, LDC) CASE MANAGER N. HOELTER
 PROJECT EXPIRATION DATE (ORD.#970905-A) DWP2 DDZ

Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

C:\pw_work\atkins\01_cabr9534\dms22533_53691-03-DEMO.dwg

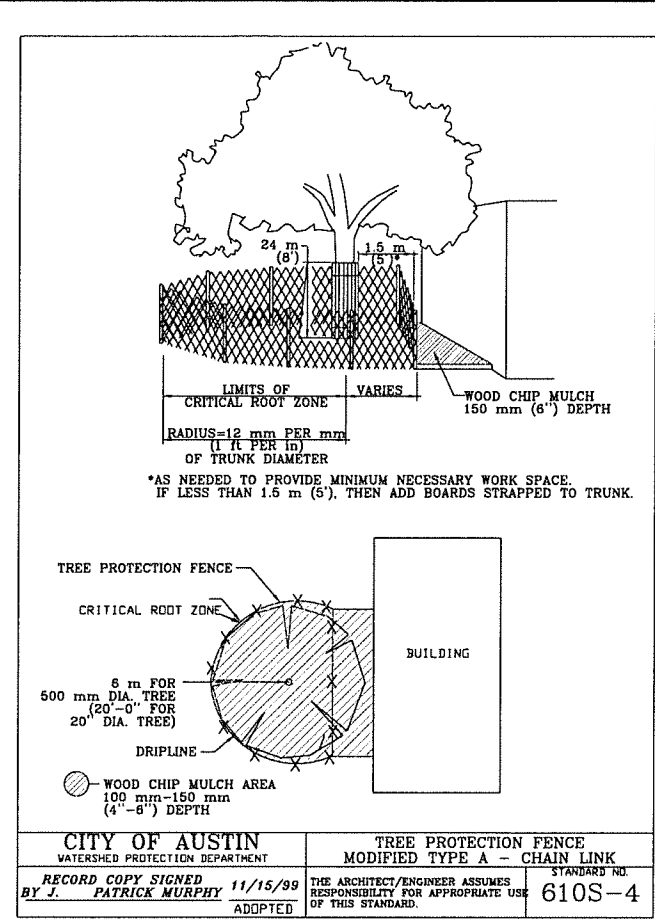


TREE LEGEND			
TAG#	TREE TYPE	QUANTITY (#)	DIAMETER (INCHES)
100	HACKBERRY	1	10
101	ASH	1	10
102	ASH	1	14
103	ASH	1	11
104	HACKBERRY	1	10
3480	HACKBERRY	1	10
3479	HACKBERRY	1	10
107	HACKBERRY	1	12
108	HACKBERRY	1	12
109	HACKBERRY	1	15
110	HACKBERRY	1	10
111	HACKBERRY	2	6, 6
R,M 3477, 3478	HACKBERRY	3	9, 12, 13
R 3472	HACKBERRY	1	12
R 112	HACKBERRY	1	11
R 3470	HACKBERRY	1	11
R 3469	HACKBERRY	1	14
R 3468	HACKBERRY	1	6
R 3467	HACKBERRY	1	9
R 3466	HACKBERRY	1	10
R 3465	HACKBERRY	1	9
R 113	HACKBERRY	1	6
R 114	HACKBERRY	1	6
R 115	HACKBERRY	1	7
R 3464	HACKBERRY	1	8
R 3462	HACKBERRY	1	8
R 3462	HACKBERRY	2	6, 8
R 116	HACKBERRY	1	6
R 3461	HACKBERRY	1	7
R 117	HACKBERRY	1	6
R 118	HACKBERRY	1	6
R 3463	HACKBERRY	1	11
R 3443	HACKBERRY	1	11
R,M 3442, 3441	WILLOW	2	17, (27)
R 119	HACKBERRY	1	8
R 3439	HACKBERRY	1	15
R 3438	ASH	1	8
R,M 3436, 3437	ASH	2	9, 12
R 120	HACKBERRY	1	7
R 121	HACKBERRY	1	6
R 3435	HACKBERRY	1	7
R 3433	HACKBERRY	1	10
R 3434	HACKBERRY	2	9, 10
R 3432	ASH	1	10
R 122	HACKBERRY	1	6
R 123	HACKBERRY	2	6, 7
R 124	HACKBERRY	1	6
R 125	MESQUITE	1	7
R 3430	HACKBERRY	1	10
R 3431	ASH	1	12
R 3428	ASH	1	17
R,M 3429	ASH	2	6, 12
R 3447	HACKBERRY	1	8
R 126	HACKBERRY	1	6
R 3448	HACKBERRY	1	8
R 3449	ASH	1	12
R 127	HACKBERRY	1	6
R 128	HACKBERRY	1	6
R 3452	HACKBERRY	1	8
R,M 3453, 3454	HACKBERRY	2	7, 7
R 3455	ASH	1	15
R 3456	ASH	1	8
129	HACKBERRY	1	7
130	ASH	1	6
131	ASH	1	6
132	ASH	1	7
133	ASH	1	6
134	ASH	1	6
135	ASH	2	6, 7
3445	ASH	1	17
3446	ASH	1	8
347	ASH	1	6
3451	ASH	1	12
3450	ASH	1	14
2049	HACKBERRY	1	15
2050	HACKBERRY	1	13
2051	HACKBERRY	1	11
2048	HACKBERRY	1	9
2043	CYPRESS	1	15
2042	HACKBERRY	1	14
M 2039, 2040, 2041	HACKBERRY	3	9, 10, 12
2034	HACKBERRY	1	9
2035	HACKBERRY	1	12

TREE LEGEND			
TAG#	TREE TYPE	QUANTITY (#)	DIAMETER (INCHES)
2027	ASH	1	16
2026	ASH	1	11
2031	HACKBERRY	1	11
2031	HACKBERRY	1	9
2033	HACKBERRY	1	10
2030	ASH	1	17
136	HACKBERRY	1	8
2029	ASH	1	11
2028	HACKBERRY	1	8
2025	ASH	1	10
2004	HACKBERRY	1	16
2019	HACKBERRY	1	13
2024	CYPRESS	1	11
2021	CYPRESS	1	20
2022	CYPRESS	1	10
2020	CYPRESS	1	10
137	CYPRESS	1	6
2023	ASH	1	17
2018	SYCAMORE	1	18
2017	CYPRESS	1	12

EXISTING TREE SURVEY COMPLETED BY ATKINS ON FEBRUARY 13, 2017.

TREE REMOVAL REPLACEMENT			
TREE CLASS	DIAMETER (INCHES)	QUANTITY (#)	MITIGATION DIAMETER (INCHES)
IN ECM APPENDIX F	8-18.9	35	187
	19+	1	81
OTHER	8-18.9	0	0
	19+	0	0
		TOTAL	268



- NOTES**
- EXISTING TREE SURVEY COMPLETED BY ATKINS ON FEBRUARY 13, 2017.
 - SEE SHEET-12 FOR TREE PROTECTION NOTES.
 - ALL TREES TO BE REMOVED ARE ON A CLOSED LANDFILL CAP. CONTRACTOR TO MINIMIZE DISTURBANCE OF THE CAP.
 - TREES ARE TO BE CUT OFF AS LOW TO OR BELOW GROUND WITHOUT DISTURBING THE ROOT SYSTEM. ROOTS CAN BE LEFT AS IS. GRUBBING IS NOT REQUIRED.
 - TREE TRUNK PROTECTION SHALL CONSIST OF ANY 2 x 4-INCH (50 x 100mm) OR 2 x 6-INCH (50 x 150 mm) PLANKING OR PLASTIC STRAPPING.
 - ALL EXISTING TREES TO BE REMOVED SHALL HAVE THEIR REMAINING STUMPS TO BE GRINDED DOWN TO A MINIMUM OF 18" BELOW GROUND SURFACE BEFORE EXCAVATION OF THE LANDFILL CAP WHEN REMOVING TREE ROOTS AS PART OF THE EXCAVATION PROCESS. PLEASE CONTACT THE CITY OF AUSTIN TCE OFFICE AT (512) 239-1000 PRIOR TO COMMENCEMENT OF EXCAVATION.

CITY OF AUSTIN		TREE PROTECTION FENCE LOCATIONS	
WATERSHED PROTECTION DEPARTMENT		STANDARD NO. 610S-1	
RECORD COPY SIGNED BY J. PATRICK MURPHY	11/15/99	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	ADAPTED

THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 4 of 29
 FILE NUMBER: SPC-2017-0482C APPLICATION DATE: 11/27/2017
 APPROVED BY COMMISSION ON UNDER SECTION 142 OF CHAPTER 25-6 OF THE CITY OF AUSTIN CODE.
 EXPIRATION DATE (25-5-81, LOC) CASE MANAGER N. HOELTER
 PROJECT EXPIRATION DATE (ORD.#970905-A) DWPZ 002

Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

ATKINS

1801 DOMINION BOULEVARD, SUITE 800
 AUSTIN, TEXAS 78758 - (512) 337-8440
 TYPE REG. NO. P-24

DESIGNED BY: NAB/CEA
 DRAWN BY: JLC
 CHECKED BY: PAB/TPB
 APPROVED BY: SAS
 DATE: MARCH, 2018

ZILKER PARK
 AUSTIN CITY LIMITS STAGING AREA
 SITE DEVELOPMENT PERMIT PLANS

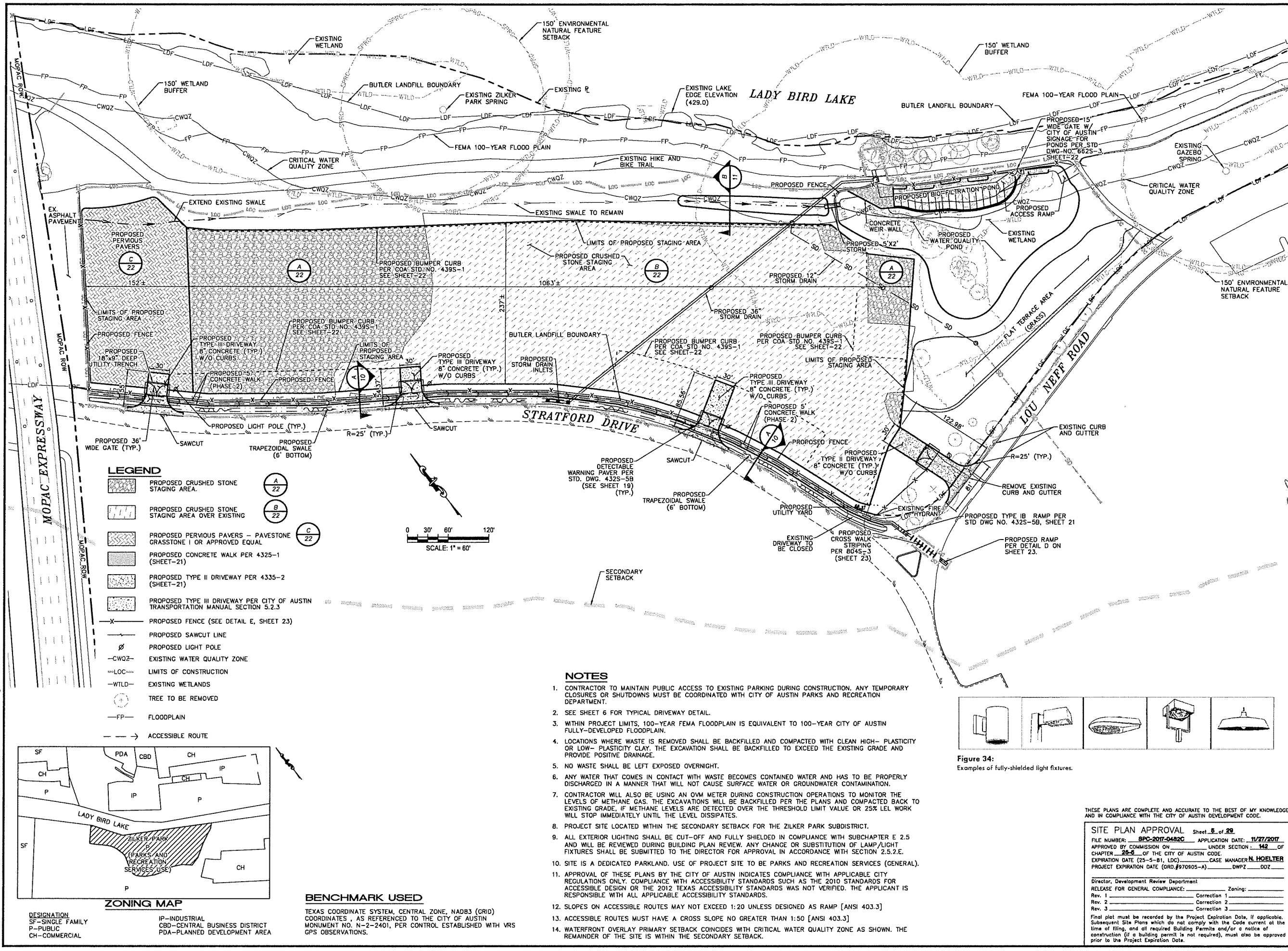
TREE PROTECTION PLAN AND TREE LEGEND

SHEET NO. 4 OF 29 SHEETS

FILE NO. 53691-04-TREE
 PROJECT NO. 100053691

SPC-2017-0482C

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DESIGNED BY: NAB/CEA	NO.	BY DATE
DRAWN BY: JLC	REVISION	
CHECKED BY: PAB/TFB		
APPROVED BY: SAS		
DATE: MARCH, 2019		

ATKINS

11801 DOMINION BOULEVARD, SUITE 500
 AUSTIN, TEXAS 78758 - (512) 327-6840
 TYPE REG. NO. F-474

**ZILKER PARK
 AUSTIN CITY LIMITS STAGING AREA
 SITE DEVELOPMENT PERMIT PLANS**

SITE PLAN

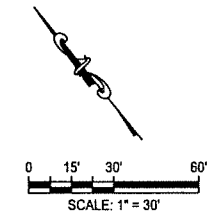
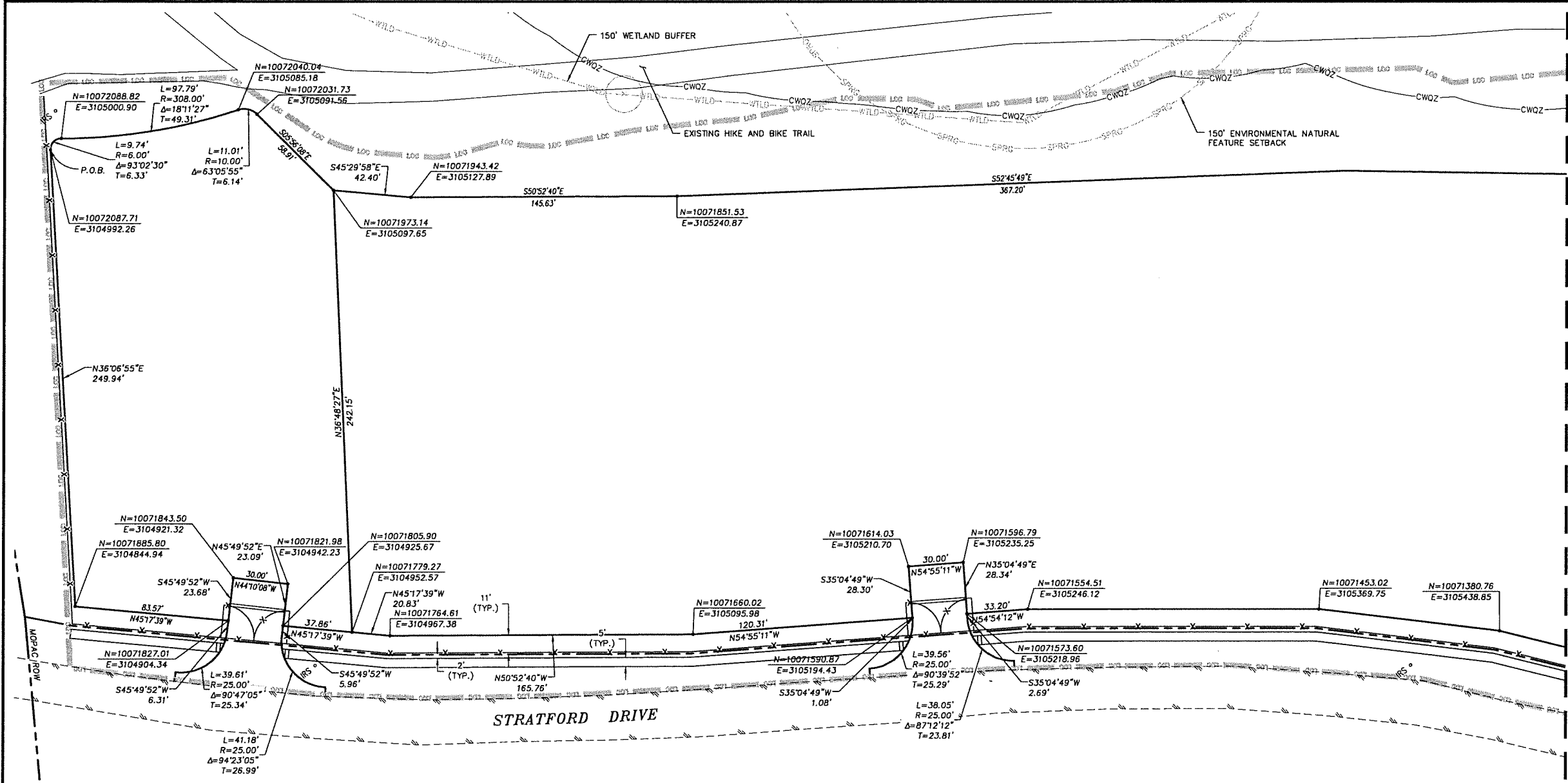
SHEET NO. 5

OF 29 SHEETS

FILE NO. 53691-05-SITE
 PROJECT NO. 100053691

SPC-2017-0482C

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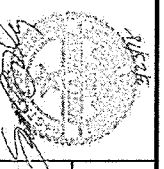


MATCHLINE - SEE SHEET 7

NO.	REVISION	BY	DATE

DESIGNED BY: NAB/CEA
 DRAWN BY: JLC
 CHECKED BY: PAB/TPB
 APPROVED BY: SAS
 DATE: MARCH, 2018

ATKINS
 11811 DOMAIN BOULEVARD, SUITE 500
 AUSTIN, TEXAS 78758 - (512) 377-8846
 TYPE REG. NO. F-474



ZILKER PARK
 AUSTIN CITY LIMITS STAGING AREA
 SITE DEVELOPMENT PERMIT PLANS
 DIMENSIONAL CONTROL PLAN

SHEET NO. 6
 OF 29 SHEETS
 FILE NO. 53691-06-DIMS
 PROJECT NO. 100053691

- LEGEND**
- IRSO 5/8" IRON ROD SET W/ATKINS CAP
 - EXISTING EDGE OF ASPHALT
 - CWQZ- EXISTING WATER QUALITY ZONE
 - LOC- LIMITS OF CONSTRUCTION
 - WILD- EXISTING WETLANDS

BENCHMARK USED
 TEXAS COORDINATE SYSTEM, CENTRAL ZONE, NAD83 (GRID) COORDINATES, AS REFERENCED TO THE CITY OF AUSTIN MONUMENT NO. N-2-2401, PER CONTROL ESTABLISHED WITH VRS GPS OBSERVATIONS.

- NOTES**
- DIGITAL FILES TO BE PROVIDED TO CONTRACTOR FOR HORIZONTAL LAYOUT.
 - ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED IN PLAN.
 - SEE SECTION A-A, SHEET-10 FOR TYPICAL DIMENSIONS ALONG STRATFORD DRIVE.

THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

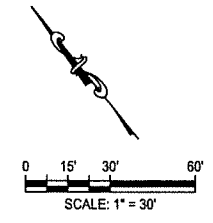
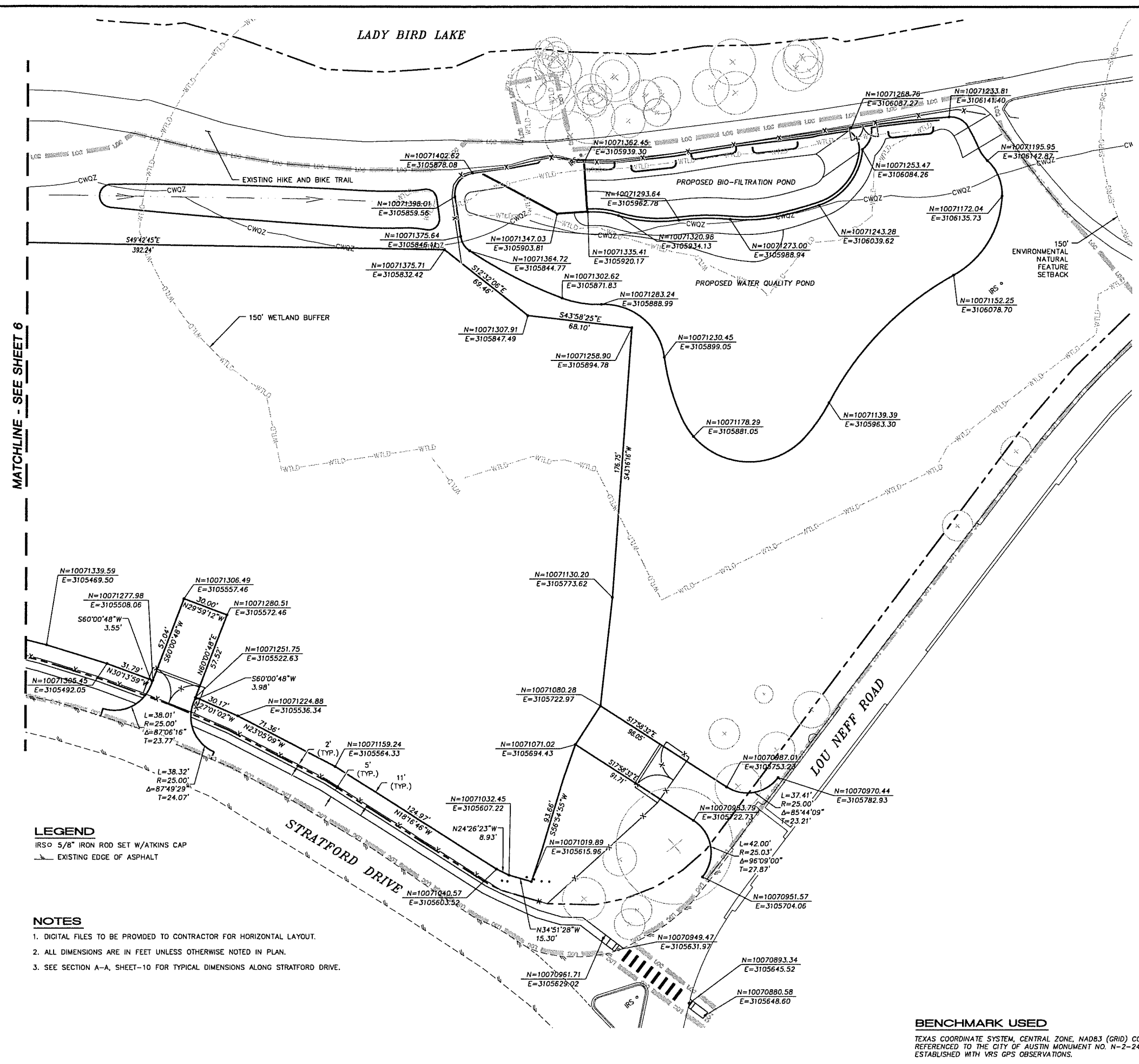
SITE PLAN APPROVAL Sheet 6 of 29
 FILE NUMBER: SPC-2017-0482C APPLICATION DATE: 11/27/2017
 APPROVED BY COMMISSION ON _____ UNDER SECTION 142 OF CHAPTER 25-6 OF THE CITY OF AUSTIN CODE.
 EXPIRATION DATE (25-5-81, LDC) _____ CASE MANAGER N. HOELTER
 PROJECT EXPIRATION DATE (ORD.#970805-A) _____ DWPZ _____ DDZ _____

Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

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MATCHLINE - SEE SHEET 6

LEGEND
IRSO 5/8" IRON ROD SET W/ATKINS CAP
EXISTING EDGE OF ASPHALT

NOTES
1. DIGITAL FILES TO BE PROVIDED TO CONTRACTOR FOR HORIZONTAL LAYOUT.
2. ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED IN PLAN.
3. SEE SECTION A-A, SHEET-10 FOR TYPICAL DIMENSIONS ALONG STRATFORD DRIVE.

BENCHMARK USED
TEXAS COORDINATE SYSTEM, CENTRAL ZONE, NAD83 (GRID) COORDINATES, AS REFERENCED TO THE CITY OF AUSTIN MONUMENT NO. N-2-2401, PER CONTROL ESTABLISHED WITH VRS GPS OBSERVATIONS.

THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.
SITE PLAN APPROVAL Sheet 7 of 29
FILE NUMBER: SPC-2017-0482C APPLICATION DATE: 11/21/2017
APPROVED BY COMMISSION ON UNDER SECTION 142 OF CHAPTER 25-6 OF THE CITY OF AUSTIN CODE.
EXPIRATION DATE (25-5-81, LDC) CASE MANAGER N. HOELTER
PROJECT EXPIRATION DATE (ORD.#970905-A) DWP2 DDZ
Director, Development Review Department
RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
Rev. 1 _____ Correction 1 _____
Rev. 2 _____ Correction 2 _____
Rev. 3 _____ Correction 3 _____
Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

DESIGNED BY: NAB/CEA	NO.	BY/DATE
DRAWN BY: JLC	REVISION	
CHECKED BY: PAB/TPB		
APPROVED BY: SAS		
DATE: MARCH, 2018		

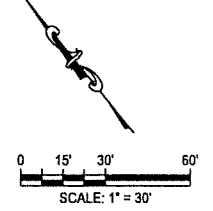
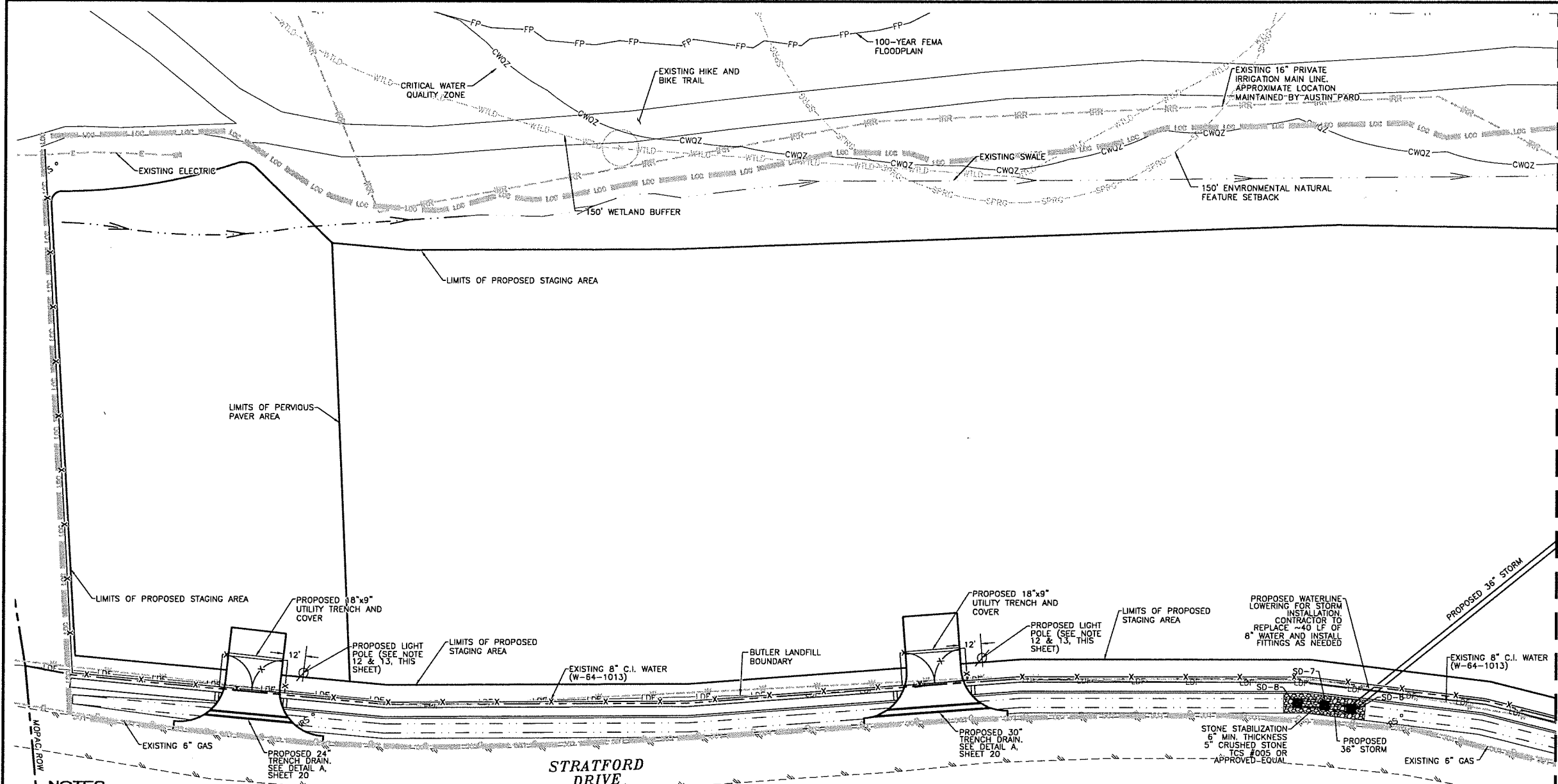
ATKINS
11801 DOMINION BOULEVARD, SUITE 500
AUSTIN, TEXAS 78758 - (512) 377-6640
TYPE REG. NO. F-474

ZILKER PARK
AUSTIN CITY LIMITS STAGING AREA
SITE DEVELOPMENT PERMIT PLANS

DIMENSIONAL CONTROL PLAN

SHEET NO. 7
OF 29 SHEETS

FILE NO. 53691-06-DIMS
PROJECT NO. 100053691
SPC-2017-0482C

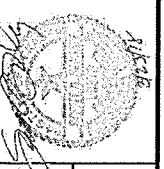


MATCHLINE - SEE SHEET 9

NO.	REVISION	BY/DATE

DESIGNED BY: NAB/CEA
 DRAWN BY: JLC
 CHECKED BY: PAB/TPB
 APPROVED BY: SAS
 DATE: MARCH, 2018

ATKINS
 11801 DOMINION BOULEVARD, SUITE 500
 AUSTIN, TEXAS 78758 - (912) 377-4440
 TBP REG. NO. F-474



ZILKER PARK
 AUSTIN CITY LIMITS STAGING AREA
 SITE DEVELOPMENT PERMIT PLANS
 UTILITY PLAN

SHEET NO. 8
 OF 29 SHEETS
 FILE NO. 53691-07-UTILITY
 PROJECT NO. 100053691

NOTES

- THE INFORMATION SHOWN ON THESE DRAWINGS INDICATING THE SIZE, TYPE, AND LOCATION OF ANY UNDERGROUND, SURFACE, AND AERIAL UTILITIES OR OTHER EXISTING FEATURES IS NOT GUARANTEED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT THE AUSTIN AREA "ONE CALL" SYSTEM (1-800-344-8377) FOR EXISTING UTILITY LOCATIONS AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION. THE CONTRACTOR SHALL ALSO BE FULLY RESPONSIBLE FOR FIELD VERIFYING LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES AFFECTED BY THIS PROJECT'S CONSTRUCTION, IN ORDER TO AVOID DAMAGING THOSE UTILITIES, AND SHALL IMMEDIATELY ARRANGE FOR REPAIR AND RESTORATION OF CONTRACTOR-DAMAGED UTILITIES, TO THE SATISFACTION OF THE UTILITY COMPANY, AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL CONTACT ATKINS WITH ANY ITEMS ON THESE PLANS THAT NEED CLARIFICATION OR ANY FIELD CONDITIONS THAT ARE NOT CONSISTENT WITH THESE PLANS.
- THE CONTRACTOR SHALL USE CARE AND NOT DAMAGE ANY EXISTING SIDEWALKS, DRIVES, STREETS, OR OTHER FEATURES, THAT ARE NOT PART OF THIS PROJECT. ANY CONTRACTOR DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE.
- DIGITAL FILES TO BE PROVIDED TO CONTRACTOR FOR HORIZONTAL LAYOUT.
- SEE SHEET 2 FOR GENERAL & STANDARD CONSTRUCTION NOTES.
- SEE SHEET 23 FOR STANDARD WATER DETAILS.
- EXISTING UTILITIES ARE PER ON GROUND SURVEY AND RECORD DRAWING CONTRACTOR SHALL VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- WATER SERVICES WILL REQUIRE REDUCED PRESSURE ZONE BACKFLOW PREVENTER AND SEAMLESS ANGLED TYPE "K".
- MATERIAL FOR WATER SERVICE SHALL BE COPPER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY EROSION CONTROL, REVEGETATION AND TREE PROTECTION. IN ADDITION, THE OWNER SHALL BE RESPONSIBLE FOR ANY INITIAL TREE PRUNING AND TREE REMOVAL THAT IS WITHIN TEN FEET OF THE CENTER LINE OF THE PROPOSED OVERHEAD ELECTRICAL FACILITIES DESIGNED TO PROVIDE ELECTRIC SERVICE TO THIS PROJECT. THE OWNER SHALL INCLUDE AUSTIN ENERGY'S WORK WITHIN THE LIMITS OF CONSTRUCTION FOR THIS PROJECT.

- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF AUSTIN RULES AND REGULATIONS AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. AUSTIN ENERGY WILL NOT RENDER ELECTRIC SERVICE UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COSTS INCURRED BECAUSE OF FAILURE TO COMPLY WITH THE REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.
- LIGHTS WILL BE FIRSTLIGHT TECHNOLOGIES SCL2 SERIES SOLAR LED INTEGRATED COMMERCIAL AREA LIGHT (SEE CUT SHEET, SHEET 23), OR APPROVED EQUAL. LIGHT POLES WILL BE 20' TALL WITH BLACK FINISH, TYPE 3 DISTRIBUTION, 3000K COLOR, AND O2 LIGHTING PROFILE. INSTALL FOUNDATION PER MANUFACTURER'S RECOMMENDATIONS. ALL EXTERIOR LIGHTING WILL BE FULL CUT-OFF AND FULLY SHIELDED IN COMPLIANCE WITH SUBCHAPTER E, 2.5 AND WILL BE REVIEWED DURING PLAN REVIEW. ANY CHANGE OR SUBSTITUTION OF LAMP/LIGHT FIXTURES SHALL BE SUBMITTED TO THE DIRECTOR FOR APPROVAL IN ACCORDANCE WITH SECTION 2.5.2.E.
- LIGHTS TO BE INSTALLED AT A MINIMUM TEN (10) FEET, HORIZONTAL SEPARATION, FROM EXISTING 8" CAST IRON (C.I.) WATER LINE.
- THE CONTRACTOR SHALL USE CARE AND NOT DAMAGE THE EXISTING 8" CAST IRON (C.I.) WATER LINE. ANY CONTRACTOR DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE

LEGEND

- PP EXISTING POWER POLE
- EXISTING GUY WIRE
- ⊞ EXISTING GAS METER
- ⊞ EXISTING FIRE HYDRANT
- WM ⊞ EXISTING WATER METER
- ⊞ EXISTING ELECTRIC VAULT
- IRS ⊞ 5/8" IRON ROD SET W/ATKINS CAP
- ⊞ EXISTING TREE TO REMAIN
- ⊞ EXISTING TREE TO BE REMOVED
- EXISTING EDGE OF ASPHALT
- W- EXISTING WATER LINE
- G- EXISTING GAS LINE
- SD- EXISTING STORM DRAIN LINE
- IRR- EXISTING IRRIGATION LINE
- E- EXISTING ELECTRICAL
- ⊞ PROPOSED LIGHT POLE
- PROPOSED CATCH BASIN
- SD- PROPOSED STORM DRAIN LINE
- ⊞ PROPOSED STORM DRAIN MANHOLE
- PROPOSED RIP-RAP
- CWQZ- EXISTING WATER QUALITY ZONE
- ⊞LOC⊞ LIMITS OF CONSTRUCTION
- WILD- EXISTING WETLANDS
- W-W- EXISTING WATERLINE

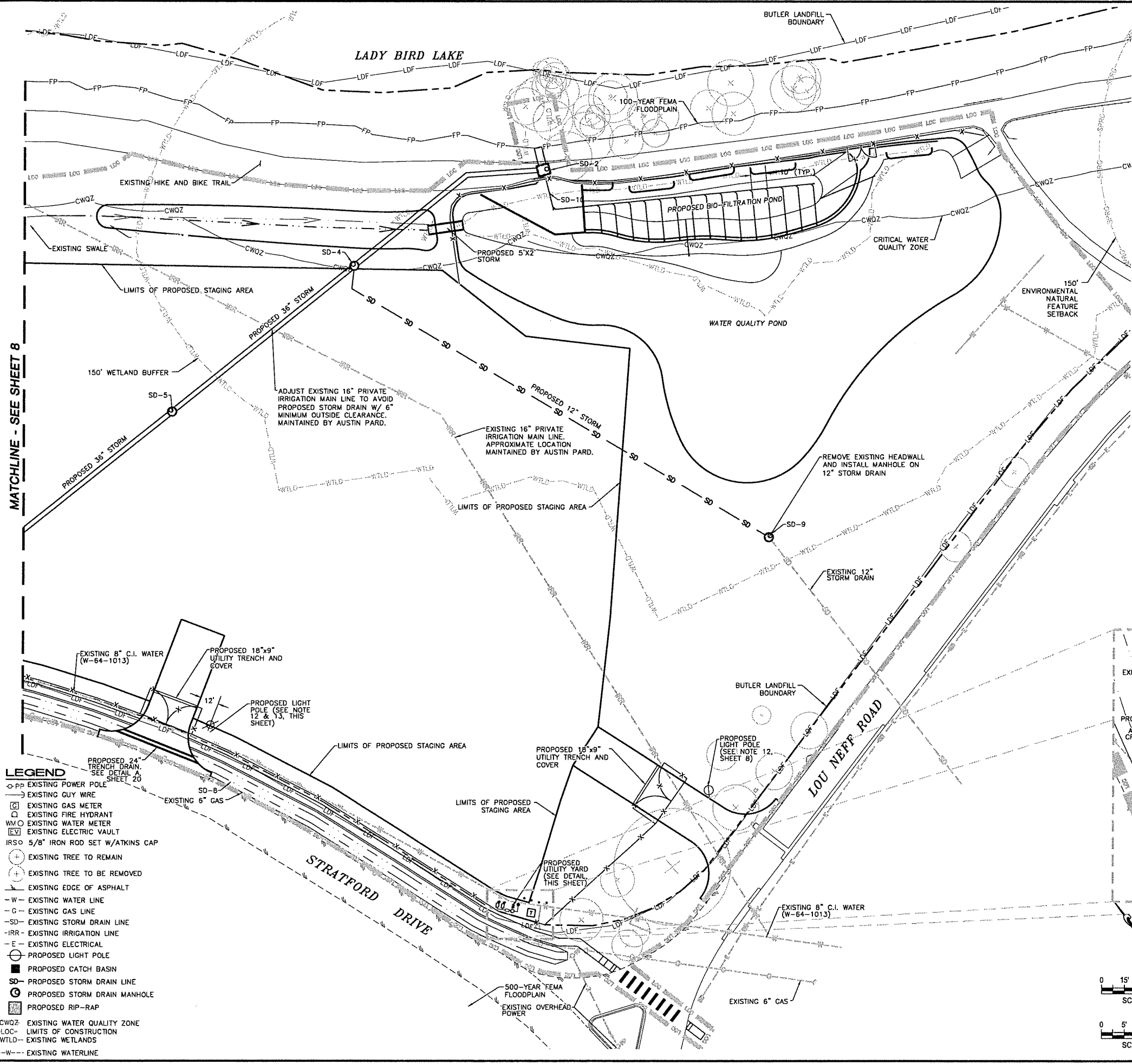
THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 8 of 29
 FILE NUMBER: SPC-2017-0482C APPLICATION DATE: 11/27/2017
 APPROVED BY COMMISSION ON UNDER SECTION 142 OF CHAPTER 25-6 OF THE CITY OF AUSTIN CODE.
 EXPIRATION DATE (25-5-81, LDC) CASE MANAGER N. HOELTER
 PROJECT EXPIRATION DATE (ORD.9970805-A) DWP2 DDZ

Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE: Zoning: _____
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____

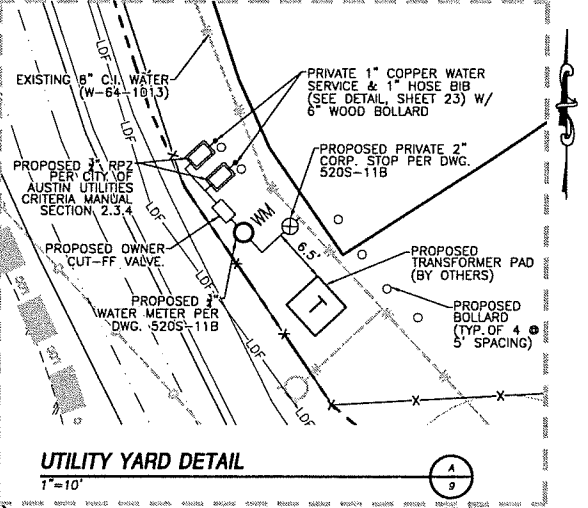
Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

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NOTES

1. THE INFORMATION SHOWN ON THESE DRAWINGS INDICATING THE SIZE, TYPE, AND LOCATION OF ANY UNDERGROUND, SURFACE, AND AERIAL UTILITIES OR OTHER EXISTING FEATURES IS NOT GUARANTEED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT THE AUSTIN AREA "ONE CALL" SYSTEM (1-800-344-8377) FOR EXISTING UTILITY LOCATIONS AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION. THE CONTRACTOR SHALL ALSO BE FULLY RESPONSIBLE FOR FIELD VERIFYING LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES AFFECTED BY THIS PROJECT'S CONSTRUCTION, IN ORDER TO AVOID DAMAGING THOSE UTILITIES, AND SHALL IMMEDIATELY ARRANGE FOR REPAIR AND RESTORATION OF CONTRACTOR-DAMAGED UTILITIES, TO THE SATISFACTION OF THE UTILITY COMPANY, AT THE EXPENSE OF THE CONTRACTOR.
2. THE CONTRACTOR SHALL CONTACT ATKINS WITH ANY ITEMS ON THESE PLANS THAT NEED CLARIFICATION OR ANY FIELD CONDITIONS THAT ARE NOT CONSISTENT WITH THESE PLANS.
3. THE CONTRACTOR SHALL USE CARE AND NOT DAMAGE ANY EXISTING SIDEWALKS, DRIVES, STREETS, OR OTHER FEATURES, THAT ARE NOT PART OF THIS PROJECT. ANY CONTRACTOR DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE.
4. DIGITAL FILES TO BE PROVIDED TO CONTRACTOR FOR HORIZONTAL LAYOUT.
5. SEE SHEET 2 FOR GENERAL & STANDARD CONSTRUCTION NOTES.
6. SEE SHEET 23 FOR STANDARD WATER DETAILS.
7. EXISTING UTILITIES ARE PER ON GROUND SURVEY AND RECORD DRAWING CONTRACTOR SHALL VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION.
8. WATER SERVICES WILL REQUIRE REDUCED PRESSURE ZONE BACKFLOW PREVENTER AND SEAMLESS ANGLED TYPE "K".
9. MATERIAL FOR WATER SERVICE SHALL BE COPPER.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY EROSION CONTROL, REVEGETATION AND TREE PROTECTION. IN ADDITION, THE OWNER SHALL BE RESPONSIBLE FOR ANY INITIAL TREE PRUNING AND TREE REMOVAL THAT IS WITHIN TEN FEET OF THE CENTER LINE OF THE PROPOSED OVERHEAD ELECTRICAL FACILITIES DESIGNED TO PROVIDE ELECTRIC SERVICE TO THIS PROJECT. THE OWNER SHALL INCLUDE AUSTIN ENERGY'S WORK WITHIN THE LIMITS OF CONSTRUCTION FOR THIS PROJECT.
11. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF AUSTIN RULES AND REGULATIONS AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. AUSTIN ENERGY WILL NOT RENDER ELECTRIC SERVICE UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COSTS INCURRED BECAUSE OF FAILURE TO COMPLY WITH THE REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.
12. LIGHTS WILL BE FIRSTLIGHT TECHNOLOGIES SCL2 SERIES SOLAR LED INTEGRATED COMMERCIAL AREA LIGHT (SEE CUT SHEET, SHEET 8), OR APPROVED EQUAL. LIGHT POLES WILL BE 20' TALL WITH BLACK FINISH, TYPE 3 DISTRIBUTION, 3000K COLOR, AND O2 LIGHTING PROFILE. INSTALL FOUNDATION PER MANUFACTURER'S RECOMMENDATIONS. ALL EXTERIOR LIGHTING WILL BE FULL CUT-OFF AND FULLY SHIELDED IN COMPLIANCE WITH SUBCHAPTER E. 2.5 AND WILL BE REVIEWED DURING PLAN REVIEW. ANY CHANGE OR SUBSTITUTION OF LAMP/LIGHT FIXTURES SHALL BE SUBMITTED TO THE DIRECTOR FOR APPROVAL IN ACCORDANCE WITH SECTION 2.5.2.E.
13. LIGHTS TO BE INSTALLED AT A MINIMUM TEN (10) FEET, HORIZONTAL SEPARATION, FROM EXISTING 8" CAST IRON (C.I.) WATER LINE.
14. THE CONTRACTOR SHALL USE CARE AND NOT DAMAGE THE EXISTING 8" CAST IRON (C.I.) WATER LINE. ANY CONTRACTOR DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.



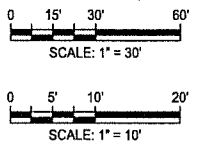
THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 2 of 29

FILE NUMBER: **SPC-2017-0482C** APPLICATION DATE: **11/21/2017**
 APPROVED BY COMMISSION ON UNDER SECTION **142** OF CHAPTER **25-6** OF THE CITY OF AUSTIN CODE
 EXPIRATION DATE (25-5-81, LDC) CASE MANAGER **N. HOELTER**
 PROJECT EXPIRATION DATE (ORD.#970805-A) **DWP2** **DD2**

Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

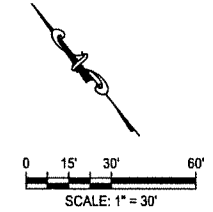
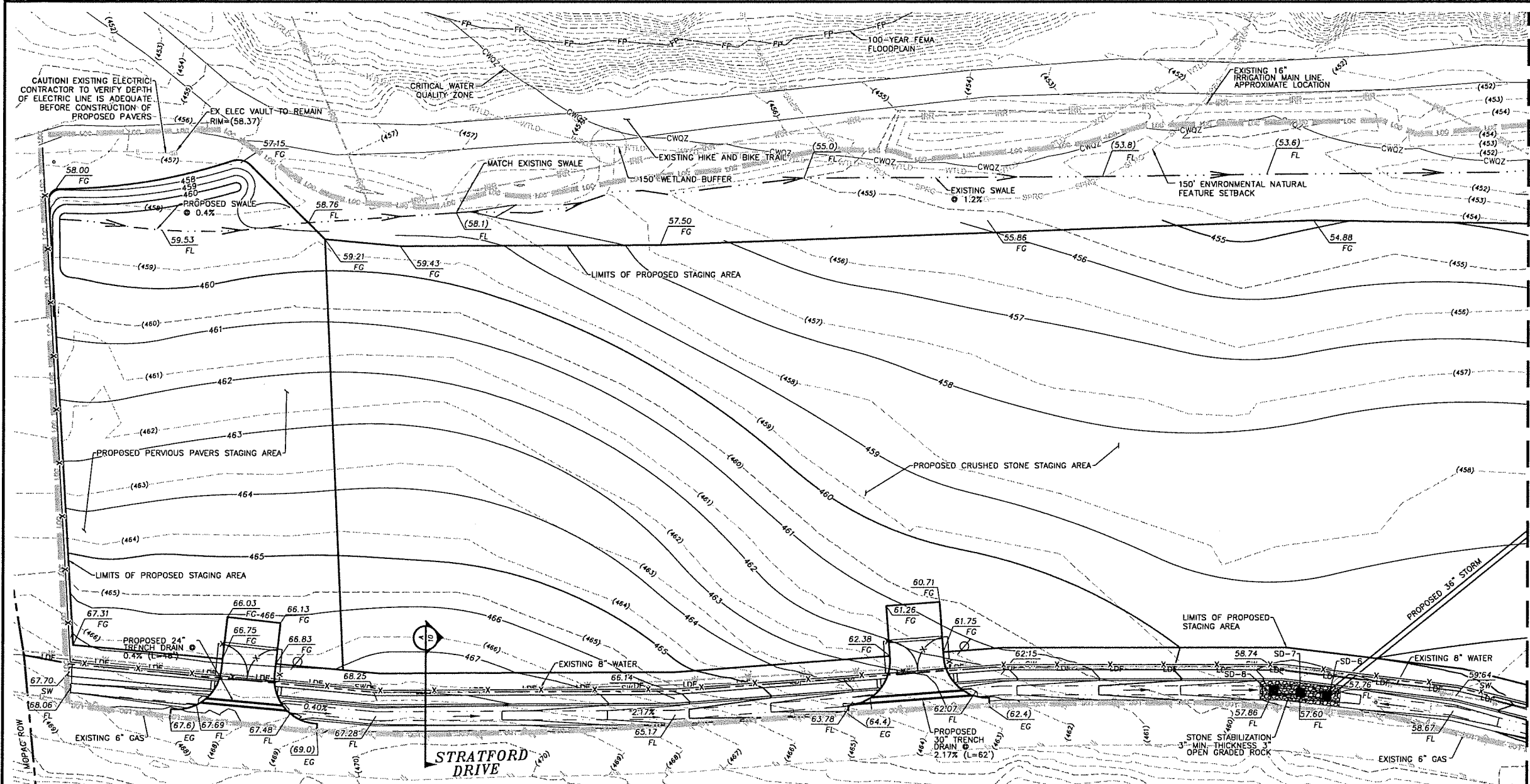


MATCHLINE - SEE SHEET 8

- LEGEND**
- PP EXISTING POWER POLE
 - EXISTING GUY WIRE
 - EXISTING GAS METER
 - EXISTING FIRE HYDRANT
 - WM EXISTING WATER METER
 - EV EXISTING ELECTRIC VAULT
 - IRS 5/8" IRON ROD SET W/ATKINS CAP
 - ⊕ EXISTING TREE TO REMAIN
 - ⊖ EXISTING TREE TO BE REMOVED
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 - IRR- EXISTING IRRIGATION LINE
 - E- EXISTING ELECTRICAL
 - PROPOSED LIGHT POLE
 - PROPOSED CATCH BASIN
 - SD PROPOSED STORM DRAIN LINE
 - PROPOSED STORM DRAIN MANHOLE
 - PROPOSED RIP-RAP
 - CWQZ- EXISTING WATER QUALITY ZONE
 - LOC- LIMITS OF CONSTRUCTION
 - WTL- EXISTING WETLANDS
 - W- EXISTING WATERLINE

<p>ATKINS</p> <p>11801 DOMAIN BOULEVARD, SUITE 500 AUSTIN, TEXAS 78758 • (512) 337-6640 TX REG. NO. 7474</p>	<p>UTILITY PLAN</p> <p>ZILKER PARK AUSTIN CITY LIMITS STAGING AREA SITE DEVELOPMENT PERMIT PLANS</p>
<p>DESIGNED BY: MAB/CEA DRAWN BY: JLC CHECKED BY: PAB/TPB APPROVED BY: SAS DATE: MARCH, 2018</p>	<p>NO. _____</p> <p>REVISION _____</p> <p>DATE _____</p>
<p>SHEET NO. 9</p> <p>OF 29 SHEETS</p>	
<p>FILE NO. 53691-07-UTILITY PROJECT NO. 100053691 SPC-2017-0482C</p>	

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MATCHLINE - SEE SHEET 11

GRADING PLAN NOTES

- CONTRACTOR TO ADJUST PAVEMENTS AND CURBS SO THAT THERE ARE SMOOTH TRANSITIONS BETWEEN EXISTING AND PROPOSED.
- FINAL EXPOSED SUBGRADE SURFACES SHALL BE PROOF ROLLED WITH A SOIL COMPACTOR HAVING A STATIC WEIGHT OF AT LEAST 20 TONS, SUCH AS A CATERPILLAR 815F, TO DETERMINE AREAS OF SOFT OR PUMPING SUBGRADE. SUCH SUBGRADE, ORGANIC MATERIAL, OR OTHER DELETERIOUS MATERIAL SHALL BE UNDERCUT AND REPLACED WITH CRUSHED LIMESTONE BASE MATERIAL AND COMPACTED TO DENSITY OF ADJACENT MATERIAL.
- PROOF ROLLED SUBGRADE AND RECOMPACT TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY TEX-114-E. MOISTURE CONTENT SHALL BE BETWEEN -1% AND +3% OF OPTIMUM.
- ALL GRADES OUTSIDE OF PAVEMENT SHALL BE 1% MIN. OR 3:1 (33%) MAX. CONTRACTOR TO INSURE POSITIVE DRAINAGE IN GRASSY AREAS AND PAVED AREAS.
- ACCESSIBLE ROUTES MUST HAVE A CROSS-SLOPE NO GREATER THAN 1:50 (2%) AND RUNNING SLOPES MAY NOT EXCEED 1:20 (5%) UNLESS DESIGNED AS A RAMP.
- SEE SHEET 17 FOR STORM DRAIN PROFILE.
- SEE SHEET 6 FOR TRENCH DRAIN & SWALE INFORMATION
- AN ADDITIONAL 400' SHOULD BE ADDED TO TRUNCATED PLAN GRADES, EXCLUDING EXISTING AND PROPOSED CONTOURS.
- THE INFORMATION SHOWN ON THESE DRAWINGS INDICATING THE SIZE, TYPE, AND LOCATION OF ANY UNDERGROUND, SURFACE, AND AERIAL UTILITIES OR OTHER EXISTING FEATURES IS NOT GUARANTEED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT THE AUSTIN AREA "ONE CALL" SYSTEM (1-800-344-8377) FOR EXISTING UTILITY LOCATIONS AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION. THE CONTRACTOR SHALL ALSO BE FULLY RESPONSIBLE FOR FIELD VERIFYING LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES AFFECTED BY THIS PROJECT'S CONSTRUCTION, IN ORDER TO AVOID DAMAGING THOSE UTILITIES, AND SHALL IMMEDIATELY ARRANGE FOR REPAIR AND RESTORATION OF CONTRACTOR-DAMAGED UTILITIES, TO THE SATISFACTION OF THE UTILITY COMPANY, AT THE EXPENSE OF THE CONTRACTOR.
- LOCATIONS WHERE WASTE IS REMOVED SHALL BE BACKFILLED AND COMPACTED WITH CLEAN HIGH- PLASTICITY OR LOW- PLASTICITY CLAY. THE EXCAVATION SHALL BE BACKFILLED TO EXCEED THE EXISTING GRADE AND PROVIDE POSITIVE DRAINAGE.
- NO WASTE SHALL BE LEFT EXPOSED OVERNIGHT.
- ANY WATER THAT COMES IN CONTACT WITH WASTE BECOMES CONTAINED WATER AND HAS TO BE PROPERLY DISCHARGED IN A MANNER THAT WILL NOT CAUSE SURFACE WATER OR GROUNDWATER CONTAMINATION.

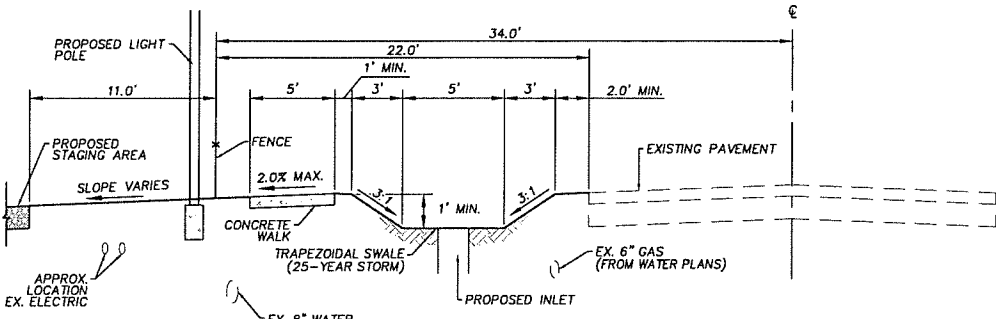
- CONTRACTOR WILL ALSO BE USING AN OVM METER DURING CONSTRUCTION OPERATIONS TO MONITOR THE LEVELS OF METHANE GAS. THE EXCAVATIONS WILL BE BACKFILLED PER THE PLANS AND COMPACTED BACK TO EXISTING GRADE. IF METHANE LEVELS ARE DETECTED OVER THE THRESHOLD LIMIT VALUE OR 25% LEL WORK WILL STOP IMMEDIATELY UNTIL THE LEVEL DISSIPATES.
- CUT GRADING SHALL NOT EXCEED 4', MAXIMUM.
- SLOPES ON ACCESSIBLE ROUTES MAY NOT EXCEED 1:20 UNLESS DESIGNED AS RAMP [ANSI 403.3]
- ACCESSIBLE ROUTES MUST HAVE A CROSS SLOPE NO GREATER THAN 1:50 [ANSI 403.3]

CONCRETE NOTES
(UNLESS SPECIFIED OTHERWISE IN THE PLANS OR SPECIFICATIONS):

- ALL CONCRETE WORK, DETAILS, AND CONSTRUCTION METHODS SHALL CONFORM WITH THE PROVISIONS OF THE AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AND LOCAL BUILDING CODES. IF CODES CONFLICT, LOCAL CODE SHALL TAKE PRECEDENCE.
- CONCRETE COMPRESSIVE STRENGTH SHALL BE A MINIMUM OF 3000 PSI AT 28 DAYS. IN NO CASE SHALL THE PORTLAND CEMENT FACTOR BE LESS THAN 5.8 BAGS PER CUBIC YARD OF CONCRETE. THE MAXIMUM WATER-CEMENT RATIO SHALL BE 5.6 GALLONS PER BAG. THE AMOUNT OF WATER REQUIRED SHALL BE SUFFICIENT TO PRODUCE CONCRETE WITH A SLUMP OF 4 TO 6 INCHES.
- ALL REINFORCING STEEL SHALL CONFORM TO THE CURRENT REQUIREMENTS OF ASTM A-615-60, EXCEPT WELDED STEEL WIRE MESH - WHICH SHALL MEET ASTM A-185.
- ALL CONCRETE SURFACES TO HAVE MEDIUM BROOM FINISH. CHAMFER ALL EXPOSED EDGES OF CONCRETE ONE INCH (1"), UNLESS OTHERWISE NOTED.
- CONCRETE COVER ON ALL REINFORCEMENT SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED:
 - CONCRETE PLACED AGAINST SOIL - 3"
 - EXPOSED FORMED SURFACES - 2"
 - FLOOR SLABS - 2" FROM TOP SURFACES
- PAVEMENT SUBBASE SHALL MEET TXDOT GRANULAR SUBBASE, GRADATION #12, COMPACTED TO 95% STANDARD PROCTOR.
- EXTERIOR CONCRETE SHALL BE AIR ENTRAINED.
- ANY DESIGN CHANGES SHALL BE APPROVED BY THE ENGINEER.

LEGEND

- PP EXISTING POWER POLE
- EXISTING GUY WIRE
- EXISTING GAS METER
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- PROPOSED RIP-RAP
- FLOW DIRECTION
- CWOZ- EXISTING WATER QUALITY ZONE
- LOC- LIMITS OF CONSTRUCTION
- WILD- EXISTING WETLANDS
- FL FLOWLINE
- SW SIDEWALK
- FG FINISHED GRADE
- EG EXISTING GRADE



TYPICAL SECTION
N.T.S.

THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

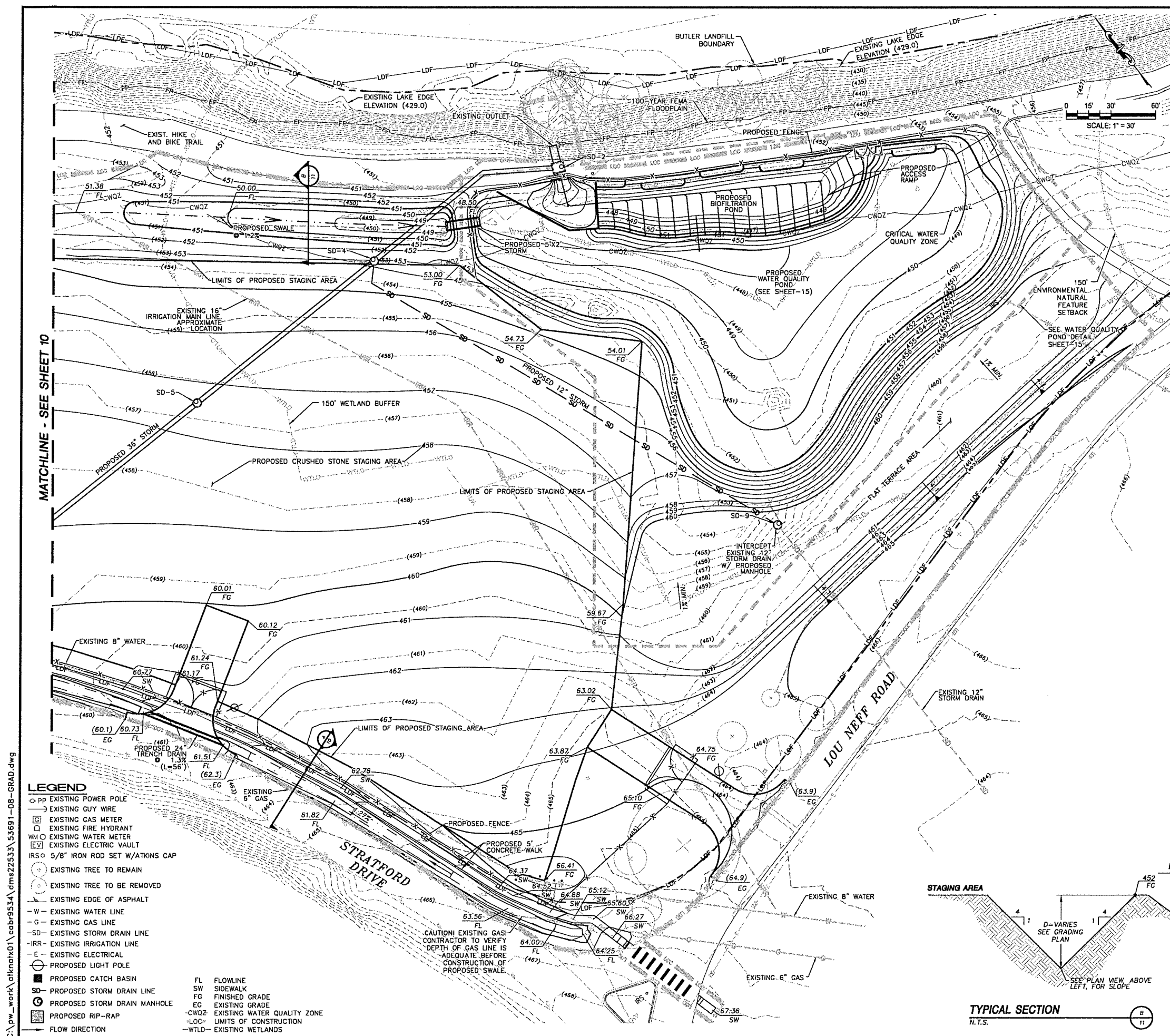
SITE PLAN APPROVAL Sheet 30 of 29
 FILE NUMBER: **SPC-2017-0482C** APPLICATION DATE: **11/27/2017**
 APPROVED BY COMMISSION ON UNDER SECTION **342** OF CHAPTER **25-6** OF THE CITY OF AUSTIN CODE.
 EXPIRATION DATE (25-5-81, LOC) CASE MANAGER **N. HOELTER**
 PROJECT EXPIRATION DATE (ORD.#970905-A) DWP2 DDZ

Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____

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DESIGNED BY: NAB/CEA DRAWN BY: JLC CHECKED BY: PAB/TPB APPROVED BY: SAS DATE: MARCH, 2018	NO. _____ REVISION _____ BY/DATE _____
11801 DOMAIN BOULEVARD, SUITE 500 AUSTIN, TEXAS 78758 - (512) 377-8840 TXBE REG. NO. F-474	
ZILKER PARK AUSTIN CITY LIMITS STAGING AREA SITE DEVELOPMENT PERMIT PLANS	
GRADING PLAN	
SHEET NO. 10 OF 29 SHEETS	
FILE NO. 53691-08-GRAD PROJECT NO. 100053691	
SPC-2017-0482C	

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GRADING PLAN NOTES

- CONTRACTOR TO ADJUST PAVEMENTS AND CURBS SO THAT THERE ARE SMOOTH TRANSITIONS BETWEEN EXISTING AND PROPOSED.
- FINAL EXPOSED SUBGRADE SURFACES SHALL BE PROOF ROLLED WITH A SOIL COMPACTOR HAVING A STATIC WEIGHT OF AT LEAST 20 TONS, SUCH AS A CATERPILLAR 815F, TO DETERMINE AREAS OF SOFT OR PUMPING SUBGRADE. SUCH SUBGRADE, ORGANIC MATERIAL, OR OTHER DELETERIOUS MATERIAL SHALL BE UNDERCUT AND REPLACED WITH CRUSHED LIMESTONE BASE MATERIAL AND COMPACTED TO DENSITY OF ADJACENT MATERIAL.
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- CUT GRADING SHALL NOT EXCEED 4' MAXIMUM.

CONCRETE NOTES

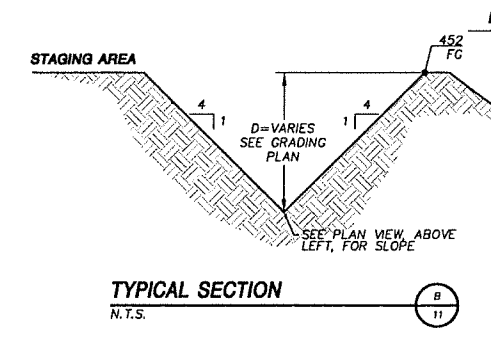
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THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 11 of 29
 FILE NUMBER: **SPC-2017-04820** APPLICATION DATE: **11/27/2017**
 APPROVED BY COMMISSION ON UNDER SECTION: **142** OF CHAPTER **25-6** OF THE CITY OF AUSTIN CODE.
 EXPIRATION DATE (25-5-81, LDC): CASE MANAGER **N. HOELTER**
 PROJECT EXPIRATION DATE (ORD#970805-A) DWP2 DDZ

Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
 Rev. 1 _____ Correction 1 _____
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LEGEND

- PP EXISTING POWER POLE
- EXISTING GUY WIRE
- EXISTING GAS METER
- EXISTING FIRE HYDRANT
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- CWQZ- EXISTING WATER QUALITY ZONE
- LOC- LIMITS OF CONSTRUCTION
- WTL- EXISTING WETLANDS

DESIGNED BY: NAB/CEA	DATE: MARCH, 2018
DRAWN BY: JLC	REVISION: NO.
CHECKED BY: PAB/TPB	
APPROVED BY: SAS	

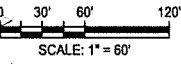
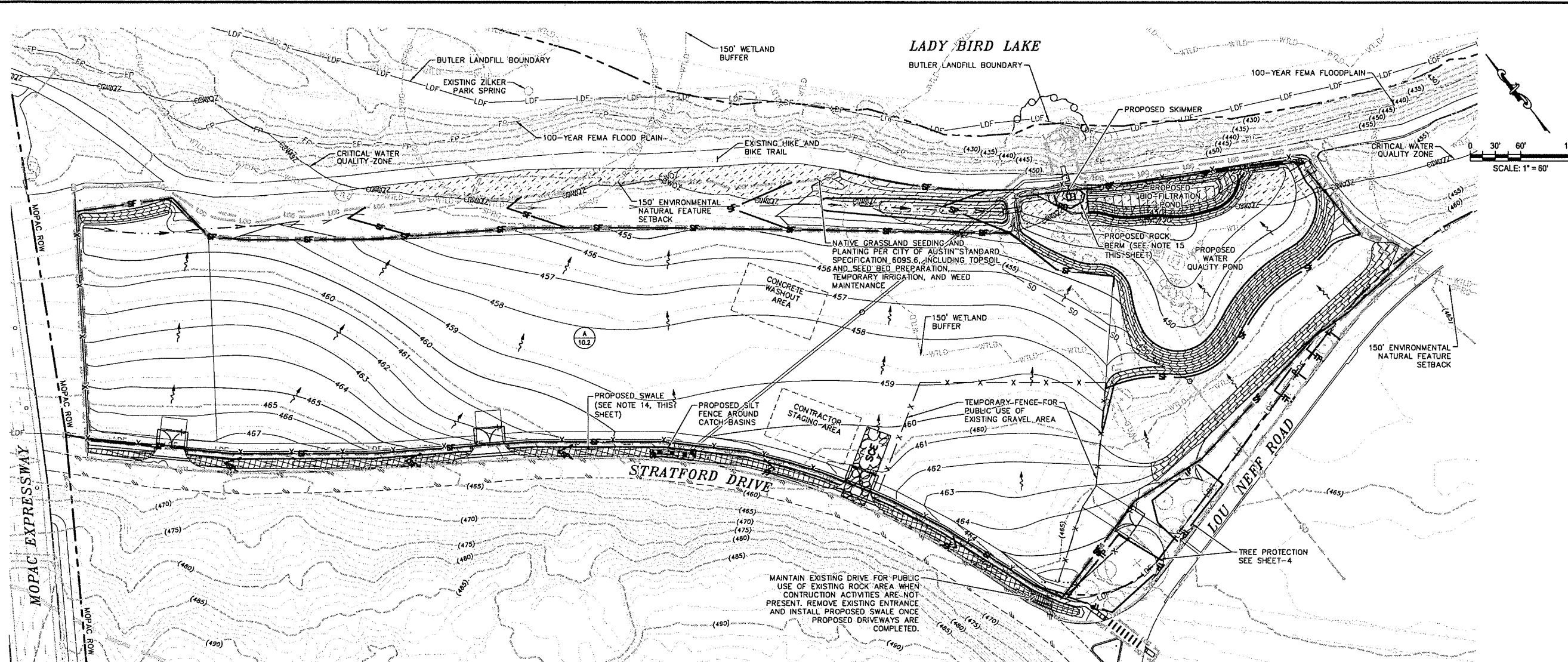
ATKINS
 11801 DOMAIN BOULEVARD, SUITE 500
 AUSTIN, TEXAS 78758 - (817) 377-8440
 TYPE REG. NO. F-174

ZILKER PARK
 AUSTIN CITY LIMITS STAGING AREA
 SITE DEVELOPMENT PERMIT PLANS

GRADING PLAN

SHEET NO. 11
 OF 29 SHEETS

FILE NO. 53691-08-GRAD
 PROJECT NO. 100053691
 SPC-2017-04820



EROSION AND SEDIMENT CONTROL AND TREE PROTECTION NOTES

1. THE INFORMATION SHOWN ON THESE DRAWINGS INDICATING THE SIZE, TYPE, AND LOCATION OF ANY UNDERGROUND, SURFACE, AND AERIAL UTILITIES OR OTHER EXISTING FEATURES IS NOT GUARANTEED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT THE AUSTIN AREA "ONE CALL" SYSTEM (1-800-344-8377) FOR EXISTING UTILITY LOCATIONS AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION. THE CONTRACTOR SHALL ALSO BE FULLY RESPONSIBLE FOR FIELD VERIFYING LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES AFFECTED BY THIS PROJECT'S CONSTRUCTION. IN ORDER TO AVOID DAMAGING THOSE UTILITIES, AND SHALL IMMEDIATELY ARRANGE FOR REPAIR AND RESTORATION OF CONTRACTOR-DAMAGED UTILITIES, TO THE SATISFACTION OF THE UTILITY COMPANY, AT THE EXPENSE OF THE CONTRACTOR.
2. THE CONTRACTOR SHALL CONTACT ATKINS WITH ANY ITEMS ON THESE PLANS THAT NEED CLARIFICATION OR ANY FIELD CONDITIONS THAT ARE NOT CONSISTENT WITH THESE PLANS.
3. THE CONTRACTOR SHALL USE CARE AND NOT DAMAGE ANY EXISTING SIDEWALKS, DRIVES, STREETS, OR OTHER FEATURES, THAT ARE NOT PART OF THIS PROJECT. ANY CONTRACTOR DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE.
4. DIGITAL FILES TO BE PROVIDED TO CONTRACTOR FOR HORIZONTAL LAYOUT.
5. REFER TO SHEET-2 FOR EROSION /SEDIMENTATION AND TREE PROTECTION NOTES.
6. REFER TO SHEET 4 FOR TREE PROTECTION DETAILS AND TREE TABLE.
7. REFER TO SHEET 19 FOR EROSION /SEDIMENTATION CONTROL DETAILS.
8. ADEQUATE BARRIERS BETWEEN ALL VEHICULAR USE AREAS AND ADJACENT LANDSCAPE AREAS, SUCH AS CONCRETE CURBS OR WHEEL STOPS, ARE REQUIRED AND MUST COMPLY WITH COA ENVIRONMENTAL CRITERIA MANUAL (ECM), SECTION 2.4.7, "PROTECTION OF LANDSCAPE AREAS."
9. THE ENVIRONMENTAL INSPECTOR HAS THE AUTHORITY TO ADD AND/OR MODIFY EROSION/SEDIMENTATION CONTROLS ON SITE TO KEEP THE PROJECT IN COMPLIANCE WITH THE CITY OF AUSTIN RULES AND REGULATIONS.
10. IF DISTURBED AREA IS NOT TO BE WORKED ON FOR MORE THAN 14 DAYS, DISTURBED AREA NEEDS TO BE STABILIZED BY REVEGETATION, MULCH, TARP OR REVEGETATION MATTING. (ECM 1.4.4.B.3, SECTION 5, 1.)
11. THE CONTRACTOR SHALL UTILIZE DUST CONTROL MEASURES DURING SITE CONSTRUCTION SUCH AS IRRIGATION TRUCKS AND MULCHING AS PER ECM 1.4.5(A), OR AS DIRECTED BY THE ENVIRONMENTAL INSPECTOR.
12. THE CONTRACTOR WILL CLEAN UP SPOILS THAT MIGRATE ONTO THE ROADS A MINIMUM OF ONCE DAILY. (ECM 1.4.4.D.4)
13. INITIATE FINAL SLOPE STABILIZATION WITH 7 DAYS OF ACHIEVING FINAL GRADE.
14. THE CONTRACTOR SHALL PLACE THE SEDIMENT FENCE IN THE PROPOSED SWALE UPON COMPLETION OF PROPOSED SWALE GRADING.
15. ROCK BERM TO BE INSTALLED PRIOR TO WORK. REMOVE AND REPLACE AS NEEDED FOR WORK IN AREA. WHEN REMOVED, INSTALL SILT FENCE OVER PIPE OPENING. PUMP OUT WATER WHEN NEEDED THRU SEDIMENT TRAP PER 624S-1 (SHEET 19) AND DEWATERING FILTER BAG PER DETAIL ON SHEET 19.
16. IN THE EVENT THAT DEWATERING IS NECESSARY, THE CONTRACTOR IS REQUIRED TO PREPARE A DEWATERING PLAN THAT WILL DESCRIBE HOW THE DEWATERING OPERATION WILL BE COMPLETED AND HOW THE PUMP EFFLUENT WILL BE MANAGED. REFERENCE THE SOILS REPORT FOR DISCUSSIONS OF GROUNDWATER CONSIDERATION. THE COST FOR DEWATERING OPERATIONS SHALL BE INCLUDED IN THE PRICE BID FOR THE STORM SEWER IMPROVEMENT. THE CONTRACTOR SHALL FURNISH AND OPERATE SUITABLE PUMPING EQUIPMENT OF SUCH CAPACITY ADEQUATE TO DEWATER THE TRENCH SHOULD WATER BE ENCOUNTERED. THE TRENCH SHALL BE SUFFICIENTLY DEWATERED SO THAT THE PLACEMENT OF BEDDING AND THE LAYING AND JOINING OF PIPE IS MADE ON FIRM, DRY GROUND. IF DEWATERING CANNOT PRODUCE ACCEPTABLE SUBGRADE, AND ONLY AS DIRECTED BY THE ENGINEER, UNSUITABLE MATERIALS SHALL BE REMOVED AND REPLACED PER CITY OF AUSTIN SPECIFICATIONS SECTION 510.3(9) AND SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS SEWER ITEMS. THE CONTRACTOR SHALL BE RESPONSIBLE TO PACE AND MAINTAIN THE NECESSARY SEDIMENT CONTROL MEASURES TO FILTER THE DEWATERING CHARGE. THE COST OF ANY DEWATERING OPERATIONS REQUIRED FOR THE CONSTRUCTION OF THE STORM SEWER SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS SEWER ITEMS NO SEPARATE PAYMENT SHALL BE MADE.
17. ALL EXISTING TREES TO BE REMOVED SHALL HAVE THEIR REMAINING STUMPS TO BE GRINDED DOWN TO A MINIMUM OF 18" BELOW GROUND SURFACE BEFORE EXCAVATION OF THE WATER QUALITY POND TO MINIMIZE DISTURBANCE OF THE LANDFILL CAP WHEN REMOVING TREE ROOTS AS PART OF THE EXCAVATION PROCESS. PLEASE CONTACT THE CITY OF AUSTIN TCEQ OFFICE AT (512) 239-1000 PRIOR TO COMMENCEMENT OF EXCAVATION.

LEGEND

- 460 — PROPOSED CONTOUR
- 460 — EXISTING CONTOUR
- SF — SILT FENCE PER 642S-1 (SHEET 19)
- TP — TREE PROTECTION FENCE PER 610S-4 (SHEET 4)
- RB — ROCK BERM PER 639S-1 (SHEET 19)
- — LIMITS OF CONSTRUCTION/DISTURBANCE
- [Symbol] STABILIZED CONSTRUCTION ENTRANCE PER 641S-1 (SHEET 19)
- X — X — X — TEMPORARY CONSTRUCTION FENCE PER 610S-4 (SHEET 4)
- CWOZ- EXISTING WATER QUALITY ZONE
- LOC- LIMITS OF CONSTRUCTION
- WILD- EXISTING WETLANDS
- [Symbol] SOIL RETENTION BLANKET, CLASS I, TYPE A PER CITY OF AUSTIN ITEM NO. 6055
- [Symbol] GEGRID PER CITY OF AUSTIN ITEM NO. 607S.4.B
- [Symbol] NATIVE GRASSLAND SEEDING
- [Symbol] TREE TO BE REMOVED
- [Symbol] TYPE I, TURBIDITY CURTAIN PER FIGURE 1.4.5.P.1, SHEET-19
- [Symbol] DEWATERING SKIMMER PER FIGURE 1.4.5.K.1, SHEET-19
- [Symbol] FLOW ARROW
- [Symbol] DRAINAGE AREA NAME
- [Symbol] DRAINAGE AREA TO EROSION CONTROL (AC)

CONTRACTOR HAS THE OPTION OF SUBSTITUTING SILT FENCE FOR MULCH SOCK PER COA STANDARD SPECIFICATIONS ITEM NO. 648S

LIMITS OF CONSTRUCTION AREA= 12.9 ACRES

THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 12 of 29
 FILE NUMBER: SPC-2017-0482C APPLICATION DATE: 11/27/2017
 APPROVED BY COMMISSION ON UNDER SECTION 142 OF CHAPTER 25-6 OF THE CITY OF AUSTIN CODE.
 EXPIRATION DATE (25-5-81, LDC) CASE MANAGER N. HOELTER
 PROJECT EXPIRATION DATE (ORD.#970905-A) DWPZ DDZ

Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

DESIGNED BY: NAB/CEA	DATE: MARCH, 2018
DRAWN BY: JLC	
CHECKED BY: PAB/TPB	
APPROVED BY: SAS	

ATKINS
 11801 DOMINION BOULEVARD, SUITE 500
 AUSTIN, TEXAS 78758 • (512) 337-4440
 TYPE REG. NO. F-474

ZILKER PARK
 AUSTIN CITY LIMITS STAGING AREA
 SITE DEVELOPMENT PERMIT PLANS

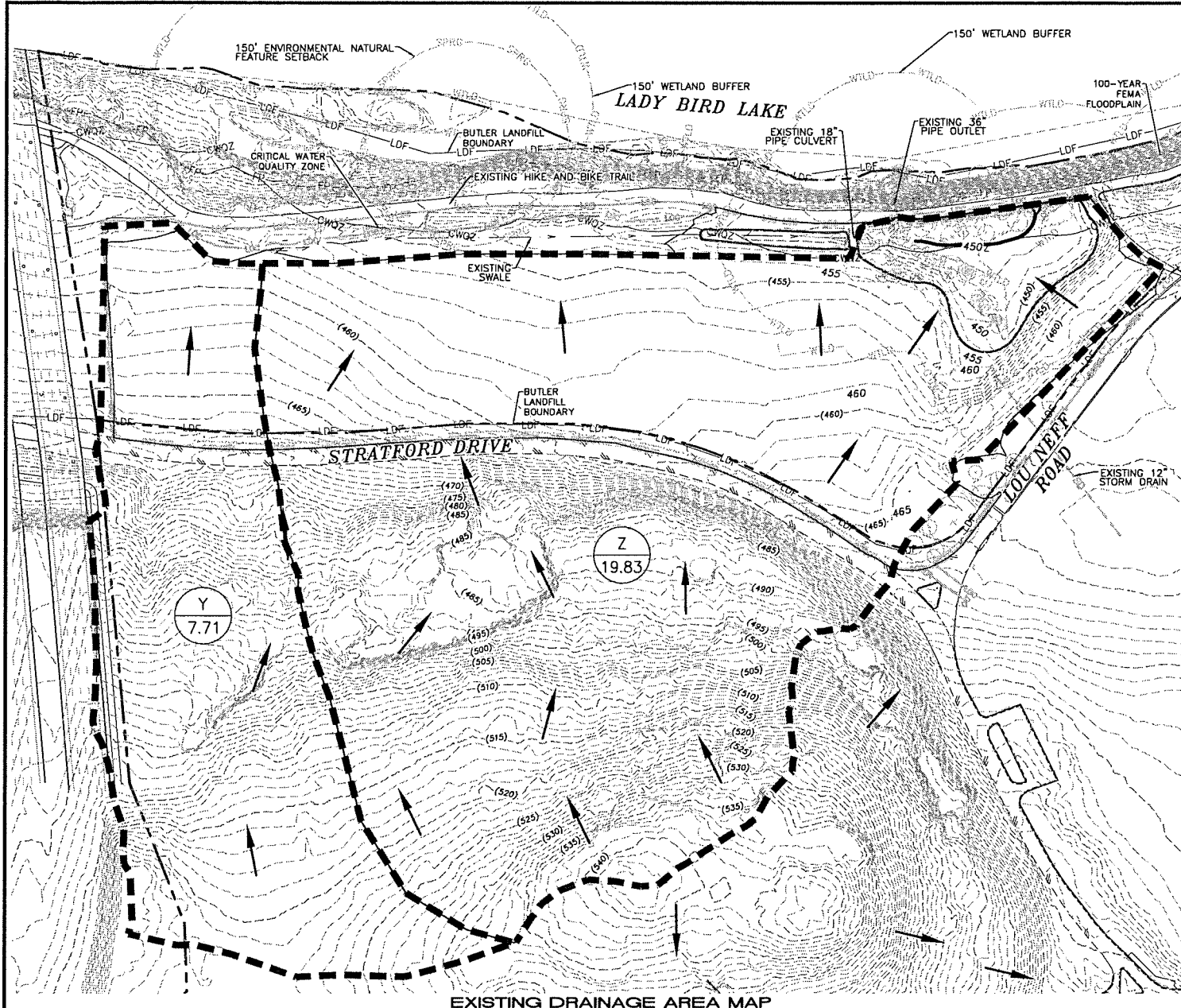
EROSION AND SEDIMENT CONTROL PLAN

SHEET NO. **12**
 OF **29** SHEETS

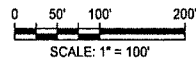
FILE NO. 53691-09-EROS
 PROJECT NO. 100053691
 SPC-2017-0482C

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EXISTING DRAINAGE AREA MAP



- LEGEND**
- X
0.0 DRAINAGE AREA NO.
DRAINAGE AREA ACRES
 - DRAINAGE BOUNDARY
 - FLOW DIRECTION
 - CWOZ- EXISTING WATER QUALITY ZONE
 - LOC- LIMITS OF CONSTRUCTION
 - WTL- EXISTING WETLANDS

1. EXISTING DISCHARGE (Q. cfs) CALCULATIONS:

Drainage Area (acres)	(Y)	(Z)
	7.71	19.83

1a. Time of Concentration:

- Notes:
 1. Manning's "n" values are taken from Table 2-2, COA Drainage Criteria Manual
 2. Sheet flow and shallow concentrated flow are assumed; no channelized flow occurs
 3. P=3.44 inches (Table 2-3)

$T_c = T_{sheet} + T_{shallow\ concentrated}$ (Eq. 2-2)
 Sheet Flow: First 100 feet $T_s = 0.42(nL)^{0.8} / (P)^{0.5} \times 0.4$ (Eq. 2-3)
 Shallow Concentrated Flow $T_{sc} = L / (60(16.1345)(s)^{0.5})$ (Eq. 2-4)

Basin A:	Manning's "n"	L (ft)	s (ft/s)	T _c (min)
Sheet Flow: First 100 feet	0.6	100	0.04	22
Shallow Concentrated Flow	0.6	1160	0.05	5
TOTAL				27

Basin B:	Manning's "n"	L (ft)	s (ft/s)	T _c (min)
Sheet Flow: First 100 feet	0.6	100	0.06	18
Shallow Concentrated Flow	0.6	860	0.10	3
TOTAL				21

1b. Rainfall Intensities:

Rainfall Intensity: $i = a / (T_c + b)^c$ (Eq. 2-8)

Intensity Duration Frequency Curve Coefficients (Table 2-5)

Freq (yrs)	a	b	c
2	54.767	11.051	0.8116
5	62.951	10.477	0.7820
10	70.820	10.396	0.7725
25	82.936	10.746	0.7634
50	100.600	12.172	0.7712
100	118.300	13.185	0.7736
500	188.000	17.233	0.7822

Intensities for Frequencies based on each Drainage Basin

Freq (yrs)	Y	Z
2	2.88	3.26
5	3.73	4.22
10	4.35	4.91
25	5.23	5.68
50	5.99	6.72
100	6.85	7.65
500	9.77	10.81

1c. Composite Runoff Coefficients for Drainage Basins: (Table 2-1)

Basin Y	A (acres)	C							
		Frequency (yrs)							
		2	5	10	25	50	100	500	
Forest Woodland (steep)	5.96	0.35	0.39	0.41	0.45	0.48	0.52	0.58	
Asphaltic	0.14	0.73	0.77	0.81	0.86	0.90	0.95	1.00	
Grass Areas (bar & avg)	1.61	0.33	0.36	0.38	0.42	0.45	0.49	0.56	
TOTAL	7.71	0.35	0.39	0.41	0.45	0.48	0.52	0.59	

Basin Z	A (acres)	C							
		Frequency (yrs)							
		2	5	10	25	50	100	500	
Forest Woodland (steep)	10.05	0.35	0.39	0.41	0.45	0.48	0.52	0.58	
Asphaltic	0.54	0.73	0.77	0.81	0.86	0.90	0.95	1.00	
Grass Areas (bar & avg)	9.24	0.33	0.36	0.38	0.42	0.45	0.49	0.56	
TOTAL	19.83	0.35	0.39	0.41	0.45	0.48	0.52	0.59	

1d. Flow Rates

Flow Rate (Q, cfs): $Q = C^i \times A$ (Eq. 2-1)

Basin	Basin Flow Rates for Various Frequencies (cfs)							
	2	5	10	25	50	100	500	
Y	7.84	11.25	13.79	18.19	22.24	27.53	44.27	
Z	22.70	32.30	39.61	52.16	63.58	78.56	126.83	

EXISTING CONDITIONS DRAINAGE CALCULATIONS

THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 13 of 29
 FILE NUMBER: **SPC-2017-0482C** APPLICATION DATE: **11/27/2017**
 APPROVED BY COMMISSION ON _____ UNDER SECTION: **142** OF
 CHAPTER **25-6** OF THE CITY OF AUSTIN CODE.
 EXPIRATION DATE (25-5-81, LDC) _____ CASE MANAGER **N. HOELTER**
 PROJECT EXPIRATION DATE (ORD.#970805-A) _____ DWP2 _____ DD2 _____

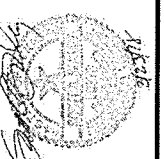
Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

NO.	REVISION	BY	DATE

DESIGNED BY: NAB/CEA
 DRAWN BY: JLC
 CHECKED BY: PAB/TFB
 APPROVED BY: SAS
 DATE: MARCH, 2018

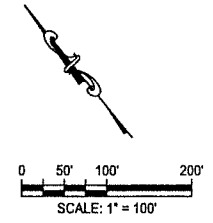
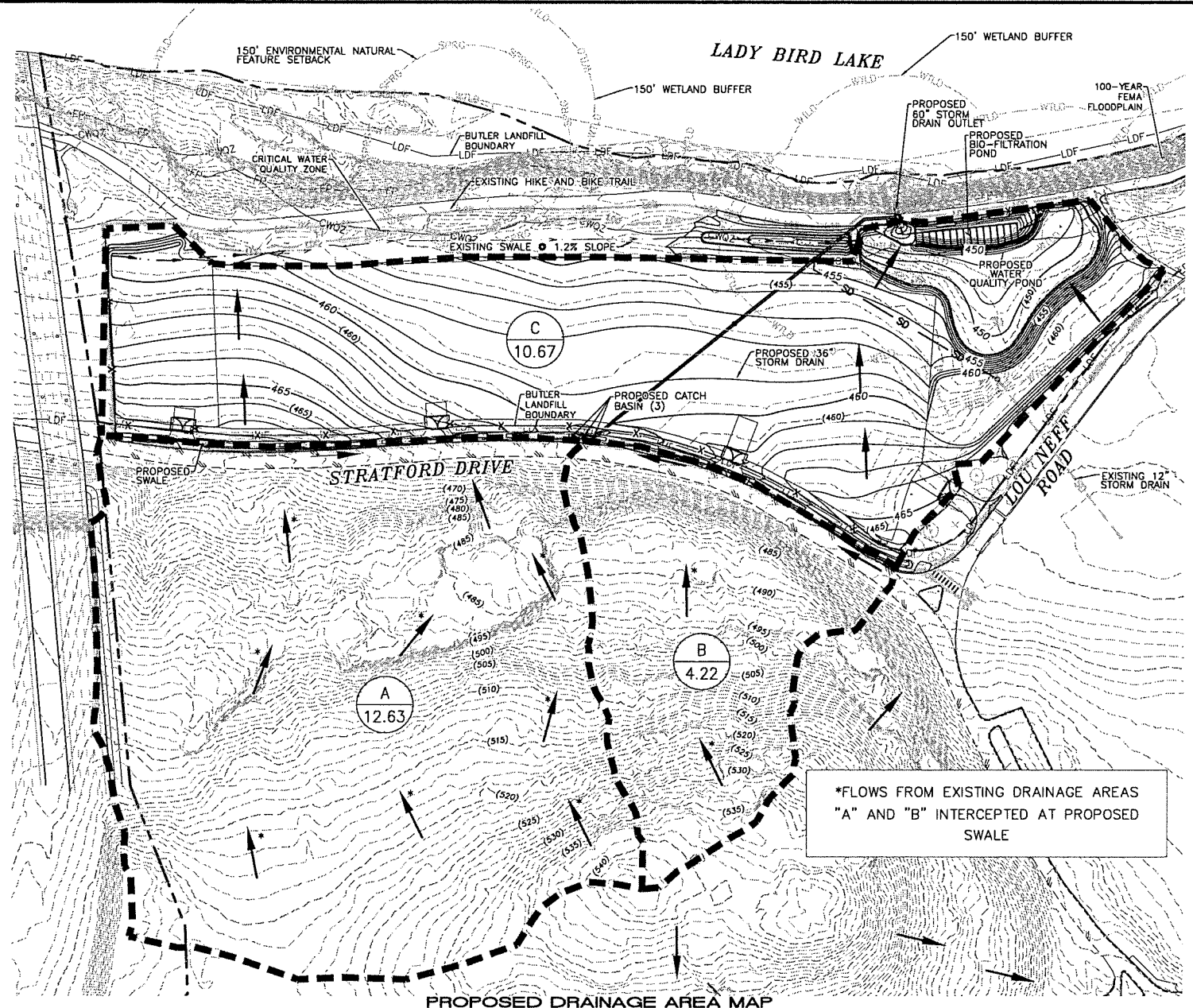
ATKINS
 11801 DOMAN BOULEVARD, SUITE 500
 AUSTIN, TEXAS 78758 - (817) 377-6848
 TYPE REG. NO. F-174



ZILKER PARK
 AUSTIN CITY LIMITS STAGING AREA
 SITE DEVELOPMENT PERMIT PLANS

EXISTING DRAINAGE AREA MAP AND CALCULATIONS

SHEET NO. 13
 OF 29 SHEETS
 FILE NO. 53691-10-DRAN
 PROJECT NO. 100053691



- LEGEND**
- X
0.0 DRAINAGE AREA NO.
DRAINAGE AREA ACRES
 - DRAINAGE BOUNDARY
 - FLOW DIRECTION
 - CWQZ- EXISTING WATER QUALITY ZONE
 - LOC- LIMITS OF CONSTRUCTION
 - WTLD- EXISTING WETLANDS

1. DESIGN DISCHARGE (Q, cfs) CALCULATIONS:

Drainage Area (acres)		
(A)	(B)	(C)
12.63	4.22	10.67

- 1a. Time of Concentration:
Notes:
1. Manning's "n" values are taken from Table 2-2, COA Drainage Criteria Manual
2. Sheet flow and shallow concentrated flow are assumed; no channelized flow occurs
3. P=3.44 Inches (Table 2-3)

$T_c = T_{sheet} + T_{shallow\ concentrated}$ (Eq. 2-2)
 $T_{sheet\ Flow\ First\ 100\ feet} = 0.42(n/L)^{0.8}((P)^{0.5})^{0.4}$ (Eq. 2-3)
 $T_{shallow\ Concentrated\ Flow} = L/60(16.1345(s)^{0.5})$ (Eq. 2-4)

Basin A:	Manning's "n"	L (ft)	s (ft/s)	Tc (min)
Sheet Flow: First 100 feet	0.6	100	0.05	20
Shallow Concentrated Flow	0.6	690	0.11	2
TOTAL				22

Basin B:	Manning's "n"	L (ft)	s (ft/s)	Tc (min)
Sheet Flow: First 100 feet	0.6	100	0.05	20
Shallow Concentrated Flow	0.6	611	0.13	2
TOTAL				21

Basin C:	Manning's "n"	L (ft)	s (ft/s)	Tc (min)
Sheet Flow: First 100 feet	0.15	100	0.02	9
Shallow Concentrated Flow	0.15	366	0.03	2
TOTAL				12

- 1b. Rainfall Intensities:
Rainfall Intensity: $i = a/(Tc + b)^c$ (Eq. 2-4)

Intensity Duration Frequency Curve Coefficients (Table 2-5)

Freq (yrs)	a	b	c
2	54.767	11.051	0.8116
5	62.981	10.477	0.7820
10	70.820	10.396	0.7725
25	82.936	10.746	0.7634
50	100.600	12.172	0.7712
100	118.300	13.185	0.7738
500	188.000	17.233	0.7822

Intensities for Frequencies based on each Drainage Basin

Freq (yrs)	A	B	C
2	3.21	3.25	4.36
5	4.16	4.20	5.61
10	4.84	4.89	6.51
25	5.80	5.86	7.75
50	6.63	6.69	8.75
100	7.55	7.62	9.88
500	10.69	10.77	13.57

- 1c. Composite Runoff Coefficients for Drainage Basins: (Table 2-1)

	A (acres)	C Frequency (yrs)						
		2	5	10	25	50	100	500
Forest Woodland (steep)	11.31	0.35	0.39	0.41	0.45	0.46	0.52	0.58
Asphaltic	0.48	0.73	0.77	0.81	0.86	0.90	0.95	1.00
Grass Areas (fair & avg)	0.64	0.33	0.36	0.38	0.42	0.45	0.49	0.58
TOTAL	12.63	0.36	0.40	0.42	0.46	0.49	0.53	0.60

	A (acres)	C Frequency (yrs)						
		2	5	10	25	50	100	500
Forest Woodland (steep)	3.45	0.35	0.39	0.41	0.45	0.48	0.52	0.58
Asphaltic	0.24	0.73	0.77	0.81	0.86	0.90	0.95	1.00
Grass Areas (fair & avg)	0.53	0.33	0.36	0.38	0.42	0.45	0.49	0.58
TOTAL	4.22	0.37	0.41	0.43	0.47	0.50	0.54	0.60

	A (acres)	C Frequency (yrs)						
		2	5	10	25	50	100	500
Asphaltic	7.24	0.73	0.77	0.81	0.86	0.90	0.95	1.00
Grass Areas (fair & avg)	3.43	0.33	0.36	0.38	0.42	0.45	0.49	0.58
TOTAL	10.67	0.60	0.64	0.67	0.72	0.76	0.80	0.86

- 1d. Flow Rates
Flow Rate (Q, cfs): $Q = C \cdot I \cdot A$ (Eq. 2-1)

Basin	Basin Flow Rates for Various Frequencies (cfs)					
	2	5	10	25	50	500
A	14.74	21.13	25.87	33.97	41.35	50.98
B	5.06	7.22	8.85	11.60	14.11	17.39
C	27.96	38.18	46.67	59.41	70.49	84.58
A+B (swale)	19.80	28.35	34.72	45.58	55.46	68.37

2. PIPE DIMENSIONS

Pipe	25-Yr Flow Rate (cfs)	Manning's "n"	Slope (ft/ft)	Size (in)	Normal Depth (ft)	Length (ft)	Velocity (ft/s)
West Trench Drain	5.25	0.013	0.0040	24 x 12	0.59	48	6.78
Mid Trench Drain	22.04	0.013	0.0217	30 x 12	1.35	62	9.79
East Trench Drain	9.46	0.013	0.0120	24 x 12	0.86	56	7.35
Storm Drain	45.58	0.013	0.0042	36	2.64	1061	6.92

PROPOSED CONDITIONS DRAINAGE CALCULATIONS

DETENTION NOTE

PROJECT IS ON SHORE OF LADY BIRD LAKE SO DETENTION IS NOT PROPOSED. THERE IS NO DOWNSTREAM PROPERTY TO PROTECT.

THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 14 of 29
 FILE NUMBER: **SPC-2017-0482C** APPLICATION DATE: **11/27/2017**
 APPROVED BY COMMISSION ON UNDER SECTION **142** OF CHAPTER **25-5** OF THE CITY OF AUSTIN CODE.
 EXPIRATION DATE (25-5-81, LDC) CASE MANAGER **N. HOELTER**
 PROJECT EXPIRATION DATE (ORD.#70905-A) DWPZ **002**

Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____
 Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

APPENDIX Q-1 NET SITE AREA
NOTE: NET SITE AREA IS ONLY APPLICABLE TO WATERSHEDS CLASSIFIED AS

TOTAL GROSS SITE AREA = 30.45 ACRES

SITE DEDUCTIONS

CRITICAL WATER QUALITY ZONE (CWQZ) =	12.52 ACRES
WATER QUALITY TRANSITION ZONE (WQTZ) =	0.00 ACRES
WASTEWATER IRRIGATION AREAS =	0.00 ACRES
DEDUCTION SUBTOTAL =	12.52 ACRES

UPLAND AREA (GROSS SITE AREA MINUS TOTAL DEDUCTIONS) = 17.93 ACRES

NET SITE AREA CALCULATION

AREA OF UPLANDS WITH SLOPES 0 - 15% =	17.93 X 100%	17.93 ACRES
AREA OF UPLANDS WITH SLOPES 15 - 25% =	0.00 X 40%	0.00 ACRES
AREA OF UPLANDS WITH SLOPES 25 - 35% =	0.00 X 20%	0.00 ACRES
AREA OF UPLANDS WITH SLOPES > 35% =	0.00 X 0%	0.00 ACRES
NET SITE AREA TOTAL =		17.93 ACRES

APPENDIX Q-2 IMPERVIOUS COVER
WATER SUPPLY SUBURBAN / WATER SUPPLY RURAL / BARTON SPRINGS ZONE

WATER QUALITY TRANSITION ZONE
WATER QUALITY TRANSITION ZONE OUTSIDE OF 100-YEAR FLOODPLAIN (NON-FP WQTZ)

ALLOWABLE IMPERVIOUS COVER

IMPERVIOUS COVER ALLOWED AT 0% X NON-FP WQTZ =	0.00 ACRES
IMPERVIOUS COVER ALLOWED AT 40% X NET SITE AREA =	7.17 ACRES
TOTAL IMPERVIOUS COVER ALLOWED =	7.17 ACRES

ALLOWABLE IMPERVIOUS COVER BREAKDOWN BY SLOPE CATEGORY

TOTAL ACREAGE 15-25% =	0.00 X 10% =	0.00
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PROPOSED IMPERVIOUS COVER ON SLOPES

IMPERVIOUS COVER IN NON-FP WQTZ =	0 ACRES =	0%
IMPERVIOUS COVER IN UPLANDS ZONE =	7.11 ACRES =	40%
TOTAL PROPOSED IMPERVIOUS COVER =	7.11 ACRES	

PROPOSED IMPERVIOUS COVER ON SLOPES

SLOPE CATEGORIES	ACRES	BUILDING/ AND OTHER IMPERVIOUS ACRES	DRIVEWAYS/ % OF CATEGORY	ACRES
0 - 15%	17.93	0.00	0.00	7.11
15 - 25%	0.00	0.00	0.00	0.00
25 - 35%	0.00	0.00	0.00	0.00
OVER 35%	0.00	0.00	0.00	0.00
TOTAL SITE AREA	17.93 ACRES			

SITE DATA

TRACT AREA	AREA (AC)	PERCENT
TRACT AREA	30.45	100
PRIMARY SETBACK AREA	12.52	41.12
SECONDARY SETBACK AREA	17.93	58.88
EXISTING IC IN PRIMARY SETBACK AREA	0.20	0.66
EXISTING IC IN SECONDARY SETBACK AREA	0.49	1.61
TOTAL EXISTING IC	0.69	2.27
PROPOSED BUILDINGS	0.00	0.00
PROPOSED IC IN PRIMARY SETBACK AREA	0.20	0.66
PROPOSED IC IN SECONDARY SETBACK AREA	7.96	26.14
TOTAL PROPOSED IC	8.16	26.80

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DESIGNED BY: NAB/CEA
 DRAWN BY: JLC
 CHECKED BY: PAB/TPB
 APPROVED BY: SAS
 DATE: MARCH, 2018

ATKINS
 11801 DOMAIN BOULEVARD, SUITE 500
 AUSTIN, TEXAS 78758 - (817) 377-8840
 TBBE REG. NO. F-474

ZILKER PARK
 AUSTIN CITY LIMITS STAGING AREA
 SITE DEVELOPMENT PERMIT PLANS

PROPOSED DRAINAGE AREA MAP AND CALCULATIONS

SHEET NO. 14
 OF 29 SHEETS

FILE NO. 53691-10-DRAN
 PROJECT NO. 100053691

SPC-2017-0482C

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Water Quality Pond Calculations (Eqns from 1.6.10.A)

SEDIMENTATION POND CALCULATIONS FOR DEVELOPMENT PERMITS

Drainage Area Data

Drainage Area to Control	464,785 sq. ft.
Drainage Area Impervious Cover	315,398 sq. ft.
	67.9% % total
Capture Depth (0.5" (IC-20)/100):	0.879 in.

Water Quality Control Calculations

Site Area Draining to Pond	464,785 ac.
Total Area Draining to Pond	464,785 ac.
Design Peak Flow Rate	59.82 cfs

Water Quality Volume

Water Quality Volume (CD*area)	Required	Provided
Bio-Filtration Pond Volume (>20%WQV)	37,903 cu. ft.	40,138 cu. ft.
Bio-Filtration Pond Area (Eqn 1.6.5.A.1)	7,581 sq. ft.	18,763 sq. ft.
	2,541 sq. ft.	2,750 sq. ft.

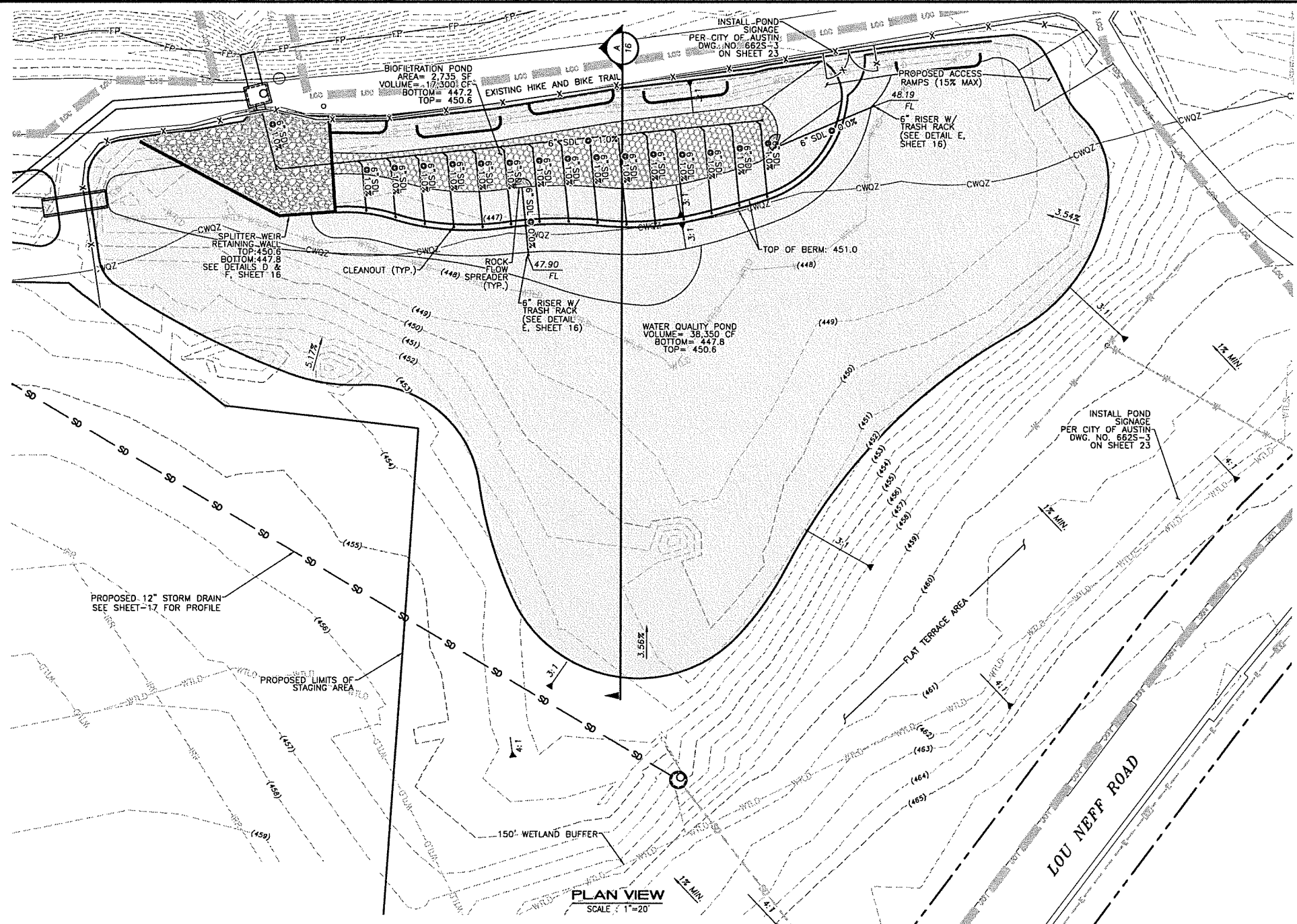
Water Quality Elevation

Elevation of Splitter/Overflow Weir	450.80 ft.
Length of Splitter Weir	75 ft.
Required Head to Pass Design Flow	0.40 ft.
Sedimentation Pond Freeboard Provided	0.00 ft.

Stage (ft.)	Area (sq. ft.)	Storage (cu. ft.)	Cumulative Volume (cu. ft.)
447.2	2,750	0	0
447.5	3,074	874	874
448	3,626	1,872	2,546
448.5	4,194	2,827	4,499
449	4,776	3,913	6,740
449.5	5,376	5,363	8,276
450	6,000	6,755	12,116
450.5	6,657	8,520	15,281
450.6	7,356	10,257	18,783

Stage (ft.)	Area (sq. ft.)	Storage (cu. ft.)	Cumulative Volume (cu. ft.)
447.8	2	0	0
448	2,449	127	127
448.5	6,817	2,225	2,352
449	12,169	4,807	7,032
449.5	17,186	9,521	14,328
450	22,807	14,766	24,287
450.5	28,901	22,418	37,184
450.6	30,185	17,720	40,138

WATER QUALITY POND CALCULATIONS



LEGEND

- LIMITS OF 18" CLAY AND IMPERMEABLE LINER (SEE DETAIL B, SHEET 16)
- LIMITS OF BIOFILTRATION POND (SEE STANDARD DRAWING 661-3, SHEET 23)
- LIMITS OF STONE STABILIZATION (SEE DETAIL E, SHEET 16)
- CWQZ- EXISTING WATER QUALITY ZONE
- LOC- LIMITS OF CONSTRUCTION
- WILD- EXISTING WETLANDS

NOTES

1. ALL PROPOSED WATER QUALITY POND, STORMWATER PIPE, STORM WATER MANHOLE, UTILITIES, AND APPURTENANCES CARRYING FLUIDS WITHIN THE CLOSED MSW LANDFILL BOUNDARY AS SHOWN ON THE PLAN SHALL BE DOUBLE CONTAINED.
2. THE WATER QUALITY POND IS DESIGNED TO DRAIN WITHIN 48 HOUR PERIOD AFTER A RAIN EVENT. THE POND MUST HAVE A MINIMUM OF 1.5' OF CLAY SOIL. SEE DETAIL SHEET
3. ALL EXISTING TREES TO BE REMOVED SHALL HAVE THEIR REMAINING STUMPS TO BE GRINDED DOWN TO A MINIMUM OF 18" BELOW GROUND SURFACE BEFORE EXCAVATION OF THE WATER QUALITY POND TO MINIMIZE DISTURBANCE OF THE LANDFILL CAP WHEN REMOVING TREE ROOTS AS PART OF THE EXCAVATION PROCESS. PLEASE CONTACT THE CITY OF AUSTIN TCEO OFFICE AT (512) 239-1000 PRIOR TO COMMENCEMENT OF EXCAVATION.

THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 29 of 29

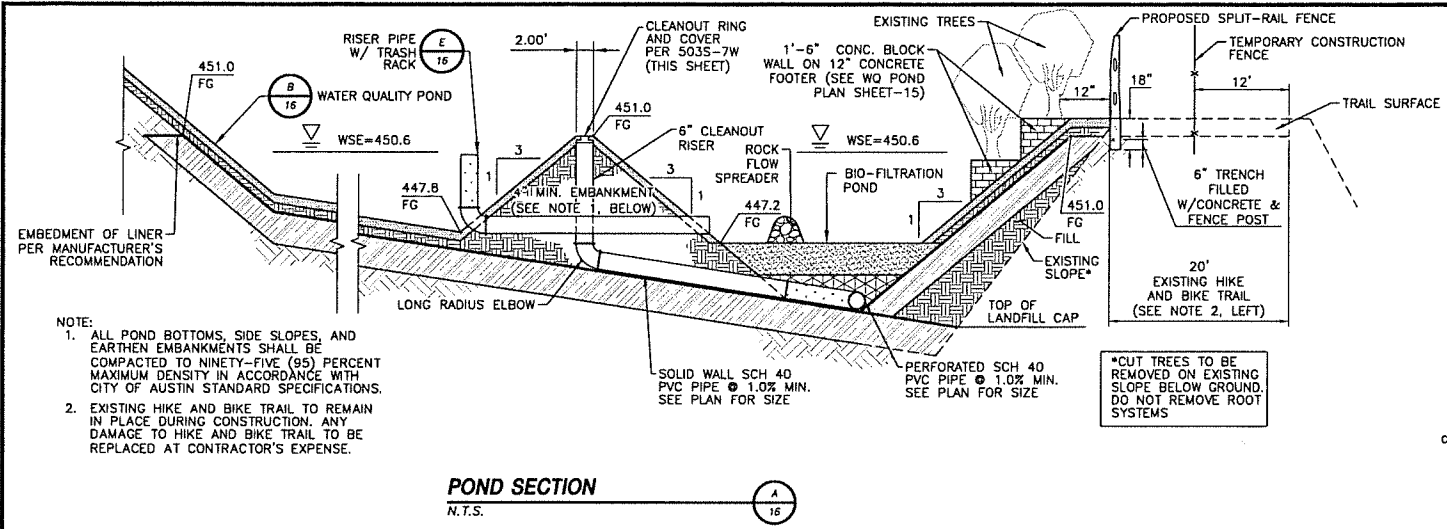
FILE NUMBER: SPC-2017-0482C APPLICATION DATE: 11/21/2017
 APPROVED BY COMMISSION ON UNDER SECTION: 142 OF CHAPTER 26-6 OF THE CITY OF AUSTIN CODE.
 EXPIRATION DATE (25-5-81, LDC) CASE MANAGER N. HOELTER
 PROJECT EXPIRATION DATE (ORD. 970905-A) DWP2 002

Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____

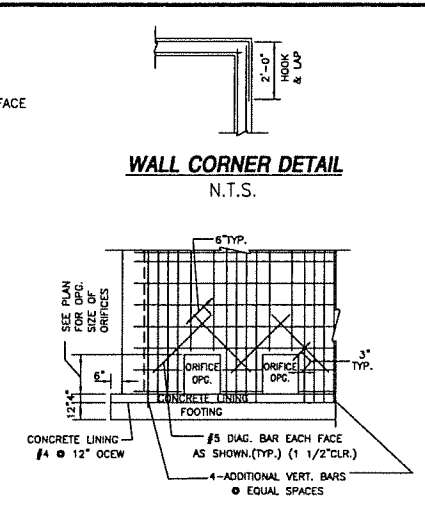
Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

<p>DESIGNED BY: <u>MAB/CEA</u> DRAWN BY: <u>JLC</u> CHECKED BY: <u>PAB/TFB</u> APPROVED BY: <u>SAS</u> DATE: <u>MARCH, 2018</u></p>	<p>NO. _____ REVISION _____</p>
<p>ATKINS</p> <p>11801 DOMINION BOULEVARD, SUITE 500 THE ROCK POND - (512) 377-8840 TX 78626-1744</p>	
<p>ZILKER PARK AUSTIN CITY LIMITS STAGING AREA SITE DEVELOPMENT PERMIT PLANS</p>	
<p>WATER QUALITY POND PLAN AND CALCULATIONS</p>	
<p>SHEET NO. 15</p>	
<p>OF 29 SHEETS</p>	
<p>FILE NO. 53691-11-POND PROJECT NO. 100053691</p>	

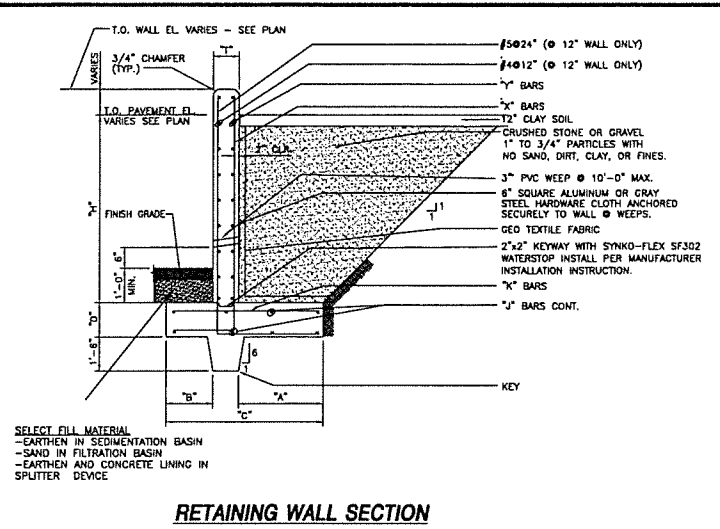
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NOTE:
1. ALL POND BOTTOMS, SIDE SLOPES, AND EARTHEN EMBANKMENTS SHALL BE COMPACTED TO NINETY-FIVE (95) PERCENT MAXIMUM DENSITY IN ACCORDANCE WITH CITY OF AUSTIN STANDARD SPECIFICATIONS.
2. EXISTING HIKE AND BIKE TRAIL TO REMAIN IN PLACE DURING CONSTRUCTION. ANY DAMAGE TO HIKE AND BIKE TRAIL TO BE REPLACED AT CONTRACTOR'S EXPENSE.



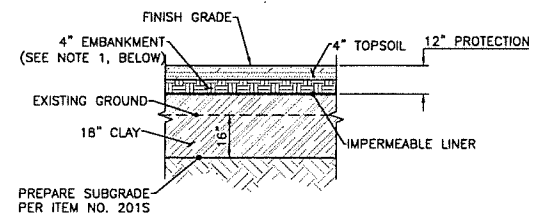
ORIFICE OPENING FOR UNDERDRAIN DETAIL
N.T.S.



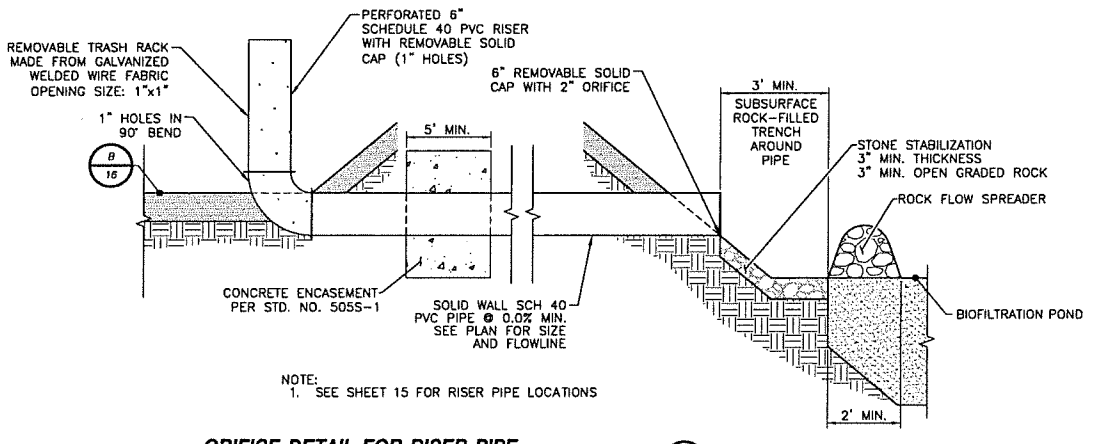
RETAINING WALL SCHEDULE

H" (MAX)	T"	A"	B"	C"	D"	"X" BARS	"Y" BARS	"J" BARS	"K" BARS
4 FT.	8"	1'-8"	10'	12'	12'	#4012"	#5012"	6-#4	#4012"

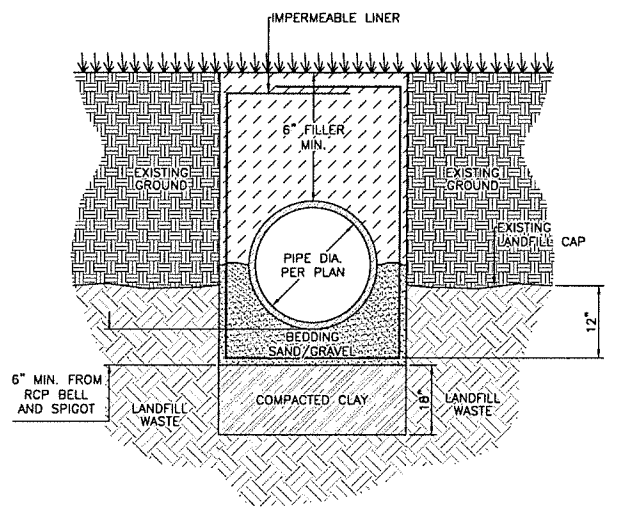
NOTE:
1. WHERE A CHANGE IN THE THICKNESS OF THE RETAINING WALL OCCURS, THE STEP SHALL OCCUR ON THE SOIL SIDE OF THE WALL.
2. PROVIDE A SMOOTH FORMED AND RUBBED FINISH AT EXPOSED FACE OF RETAINING WALLS.
3. FOOTINGS SHALL BE FOUNDED A MINIMUM OF 1'-0" INTO EXISTING UNDISTURBED GRADE.
4. EVERY OTHER VERTICAL "X" BAR CAN BE TERMINATED AT MID-HEIGHT OF WALL.
5. CONSTRUCT CONTROL JOINTS (3/4" CHAMFER) SPACING CENTER TO CENTER EQUAL TO "H".
6. CONCRETE RETAINING WALLS SHALL HAVE VERTICAL CONTRACTION JOINTS WITH SPACING NOT TO EXCEED WALL HEIGHT.
7. ALL CONCRETE JOINTS SHALL HAVE APPROVED WATERSTOP.
8. CONCRETE SHALL HAVE 4,000 PSI 28-DAY COMPRESSIVE STRENGTH.
9. EXTERNALLY EXPOSED CONCRETE SURFACES SHALL HAVE A DECORATIVE TEXTURE AND TINTING IN EARTHEN COLORS AS APPROVED BY THE ENGINEER.



NOTE:
1. ALL POND BOTTOMS, SIDE SLOPES, AND EARTHEN EMBANKMENTS SHALL BE COMPACTED TO NINETY-FIVE (95) PERCENT MAXIMUM DENSITY IN ACCORDANCE WITH CITY OF AUSTIN STANDARD SPECIFICATIONS.

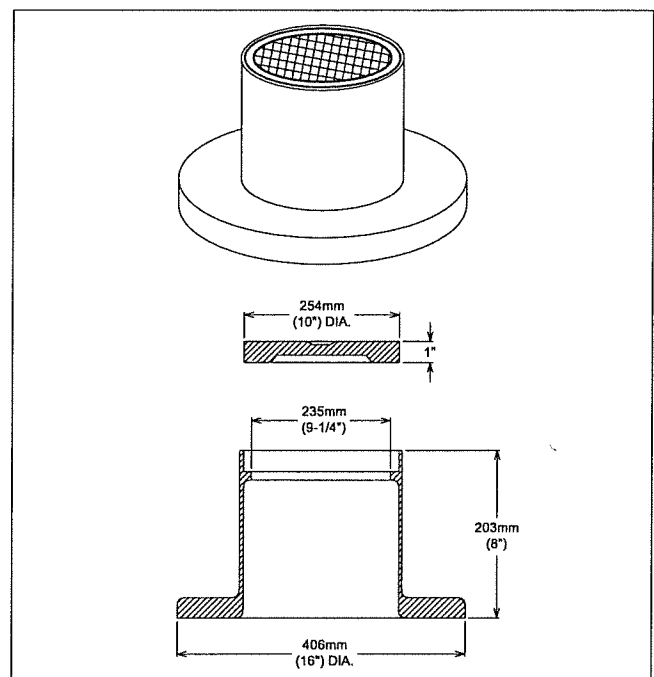


ORIFICE DETAIL FOR RISER PIPE
N.T.S.



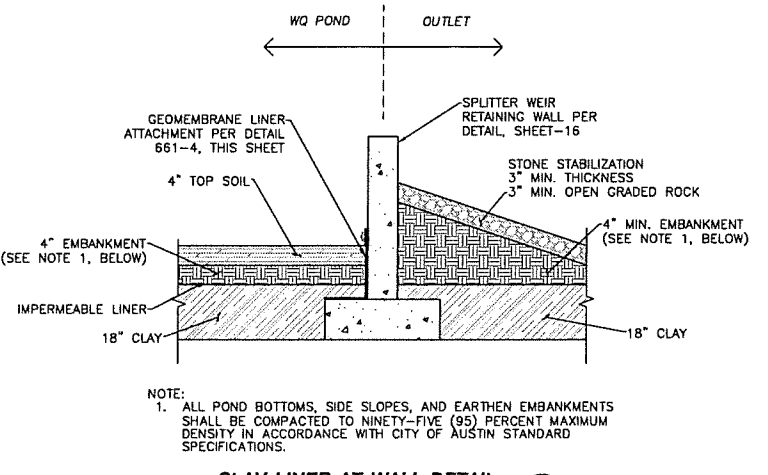
NOTE:
1. IF A SUITABLE SUBGRADE IS NOT FOUND THEN THE TRENCH MUST BE EXCAVATED AN ADDITIONAL 18" AND FILLED W/ COMPACTED CLAY.
2. OVERLAP LINER AT TOP OF TRENCH EXCAVATION.
3. SEE COA DETAIL 510S-5, SHEET 20 FOR ALL OTHER DIMENSIONS.

DOUBLE CONTAINMENT TRENCH DETAIL
N.T.S.



NOTES:
1. HEAVY DUTY.
2. SEE SPL WW-622 FOR MORE INFORMATION.

CITY OF AUSTIN AUSTIN WATER UTILITY	CLEANOUT RING AND COVER	STANDARD NO. 503S-7W
RECORD COPY SIGNED BY KATHI L. FLOWERS	06/01/10	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.



CLAY LINER AT WALL DETAIL
N.T.S.

THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 16 of 29

FILE NUMBER: SPC-2017-04820 APPLICATION DATE: 11/27/2017
 APPROVED BY COMMISSION ON UNDER SECTION: 142 OF CHAPTER 25-6 OF THE CITY OF AUSTIN CODE.
 EXPIRATION DATE (25-5-81, LDC) CASE MANAGER N. HOELTER
 PROJECT EXPIRATION DATE (ORD.#970805-A) DWP2 DDZ

Director, Development Review Department

RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____

Final plot must be recorded by the Project Expiration Date. If applicable, Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

DESIGNED BY: NAB/CEA
 DRAWN BY: JLC
 CHECKED BY: PAB/TPB
 APPROVED BY: SAS
 DATE: MARCH, 2018

ATKINS
 11801 DOMAIN BOULEVARD, SUITE 500
 AUSTIN, TEXAS 78758 • (512) 377-4640
 TYPE REG. NO. F-474

ZILKER PARK
 AUSTIN CITY LIMITS STAGING AREA
 SITE DEVELOPMENT PERMIT PLANS

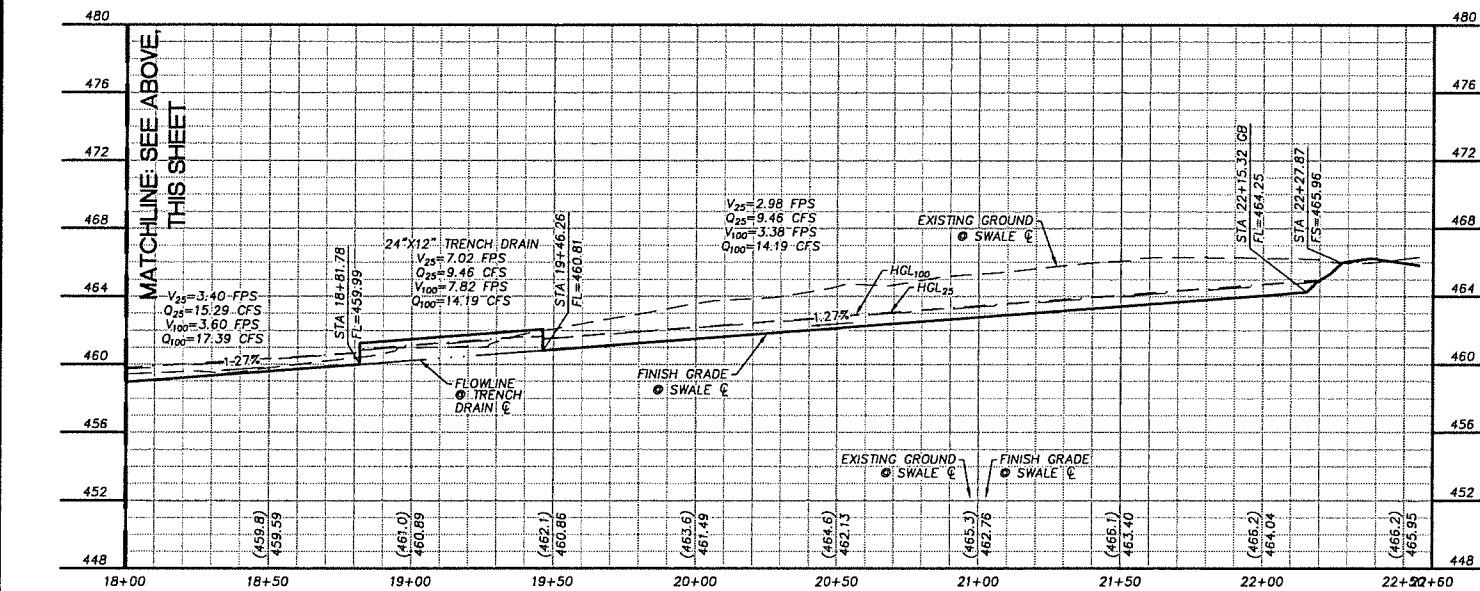
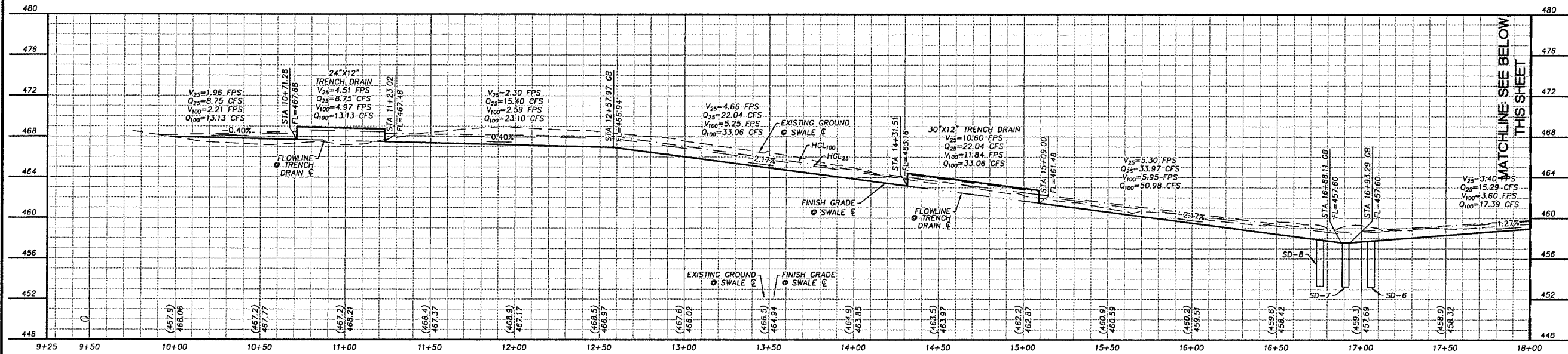
WATER QUALITY POND DETAILS

SHEET NO. 16
 OF 29 SHEETS

FILE NO. 53691-11-POND
 PROJECT NO. 100053691

SPC-2017-04820

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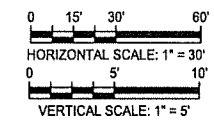


THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 18 of 29
 FILE NUMBER: **SPC-2017-0482C** APPLICATION DATE: **11/27/2017**
 APPROVED BY COMMISSION ON _____ UNDER SECTION **142** OF
 CHAPTER **25-6** OF THE CITY OF AUSTIN CODE.
 EXPIRATION DATE (25-5-81, LDC) _____ CASE MANAGER **N. HOELTER**
 PROJECT EXPIRATION DATE (ORD.#970905-A) _____ DWP2 _____ DD2 _____

Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
 Rev. 1 _____ Correction 1 _____
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DESIGNED BY: NAB/CFA
 DRAWN BY: JLC
 CHECKED BY: PAB/TPB
 APPROVED BY: SAS
 DATE: MARCH, 2018

ATKINS
 11801 DOMAIN BOULEVARD, SUITE 500
 AUSTIN, TEXAS 78758 · (512) 377-8840
 TYPE REG. NO. F-174

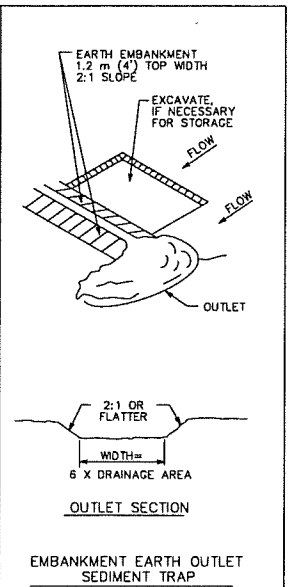
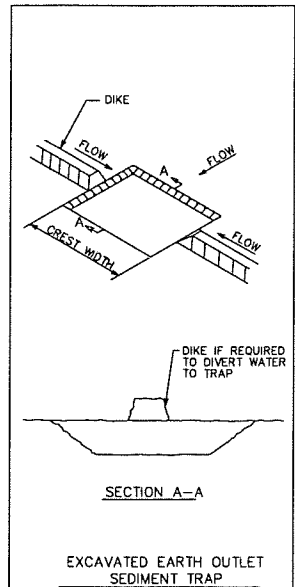
ZILKER PARK
 AUSTIN CITY LIMITS STAGING AREA
 SITE DEVELOPMENT PERMIT PLANS

CHANNEL PROFILE

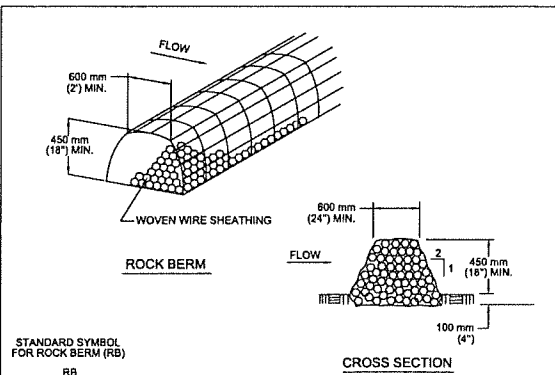
SHEET NO. 18
 OF 29 SHEETS

FILE NO. 53691-14-DHW-PROF
 PROJECT NO. 100053691

NO. _____ REVISION

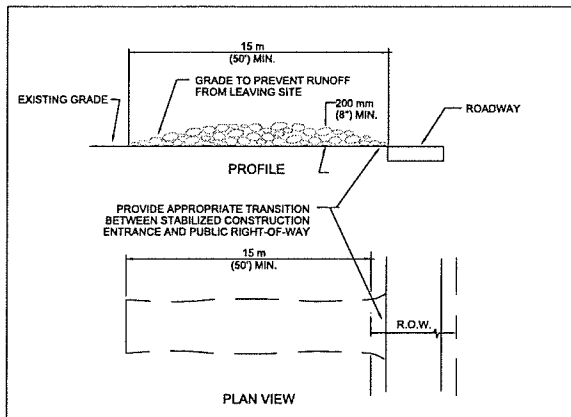


CITY OF AUSTIN WATERSHED PROTECTION DEPARTMENT		EARTH OUTLET SEDIMENT TRAP	
RECORD COPY SIGNED BY J. PATRICK MURPHY	5/23/00	STANDARD NO. 624S-1	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.



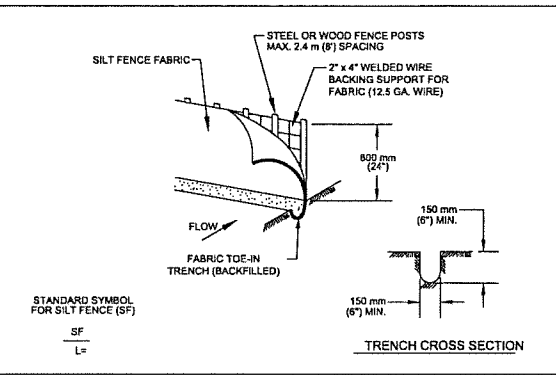
- NOTES:
1. USE ONLY OPEN GRADED ROCK 75 to 125 mm (3 to 5") DIAMETER FOR ALL CONDITIONS.
 2. THE ROCK BERM SHALL BE SECURED WITH A WOVEN WIRE SHEATHING HAVING MAXIMUM 25 mm (1") OPENING AND MINIMUM WIRE DIAMETER OF 12.9 mm (20 GAUGE).
 3. THE ROCK BERM SHALL BE INSPECTED DAILY OR AFTER EACH RAIN, AND THE STONE AND/OR FABRIC CORE-WOVEN SHEATHING SHALL BE REPLACED WHEN THE STRUCTURE CEASES TO FUNCTION AS INTENDED, DUE TO SEDIMENT ACCUMULATION AMONG THE ROCKS, WASHOUT, CONSTRUCTION TRAFFIC DAMAGE, ETC.
 4. IF SEDIMENT REACHES A DEPTH EQUAL TO ONE-THIRD THE HEIGHT OF THE BERM OR 150 mm (6"), WHICHEVER IS LESS, THE SEDIMENT SHALL BE REMOVED AND DISPOSED OF ON AN APPROVED SITE AND IN A MANNER THAT WILL NOT CREATE A SEDIMENTATION PROBLEM.
 5. WHEN THE SITE IS COMPLETELY STABILIZED, THE BERM AND ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF IN AN APPROVED MANNER.

CITY OF AUSTIN WATERSHED PROTECTION DEPARTMENT		ROCK BERM	
RECORD COPY SIGNED BY MORGAN BYARS	8/24/2010	STANDARD NO. 639S-1	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.



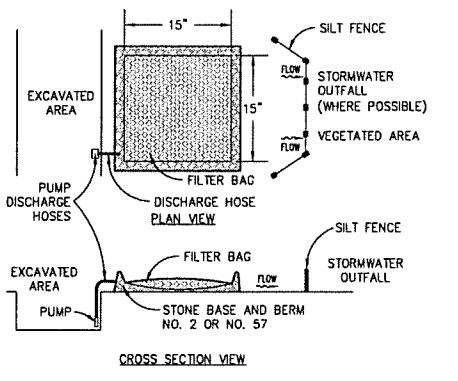
- NOTES:
1. STONE SIZE: 75-125 mm (3-5") OPEN GRADED ROCK.
 2. LENGTH: AS EFFECTIVE BUT NOT LESS THAN 15 m (50').
 3. THICKNESS: NOT LESS THAN 200 mm (8").
 4. WIDTH: NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS/EGRESS.
 5. WASHING: WHEN NECESSARY, VEHICLE WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE AND DRAINS INTO AN APPROVED TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
 6. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AS WELL AS REPAIR AND CLEAN OUT OF ANY MEASURE DEVICES USED TO TRAP SEDIMENT. ALL SEDIMENTS THAT IS SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY.
 7. DRAINAGE: ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.

CITY OF AUSTIN WATERSHED PROTECTION DEPARTMENT		STABILIZED CONSTRUCTION ENTRANCE	
RECORD COPY SIGNED BY J. PATRICK MURPHY	5/23/00	STANDARD NO. 641S-1	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.



1. STEEL OR WOOD POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF 300 mm (12 INCHES). IF WOOD POSTS CANNOT ACHIEVE 300 mm (12 INCHES) DEPTH, USE STEEL POSTS.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW.
3. THE TRENCH MUST BE A MINIMUM OF 150 mm (6 INCHES) DEEP AND 150 mm (6 INCHES) WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE FABRIC SHOULD BE SECURELY FASTENED TO EACH STEEL OR WOOD SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL OR WOOD FENCE POST.
5. INSPECTION SHALL BE MADE WEEKLY OR AFTER EACH RAINFALL EVENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 150 mm (6 INCHES). THE SILT SHALL BE DISPOSED OF ON AN APPROVED SITE AND IN SUCH A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.

CITY OF AUSTIN WATERSHED PROTECTION DEPARTMENT		SILT FENCE	
RECORD COPY SIGNED BY MORGAN BYARS	09/01/2011	STANDARD NO. 642S-1	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

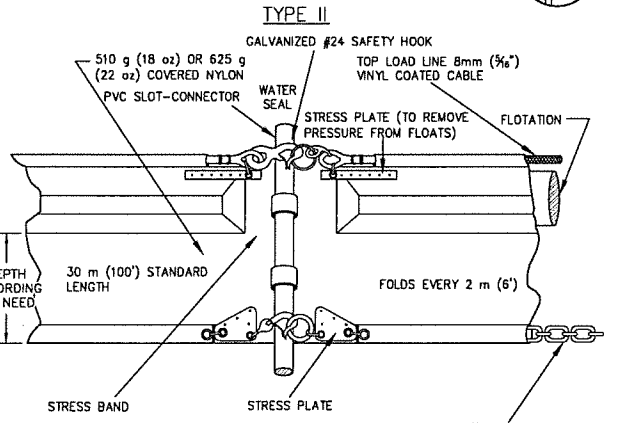
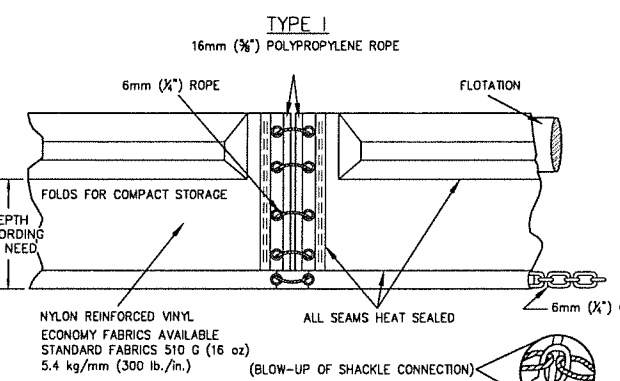


INSTALLATION:
THE CONTRACTOR SHALL PUMP MUDDY WATER ENCOUNTERED WITHIN EXCAVATED AREAS INTO A FILTER FABRIC BAG. THE BAG SHALL BE PLACED WITHIN A LEVEL UNDISTURBED AREA AS FAR AWAY FROM THE STORMWATER OUTFALL AS POSSIBLE. THE BAG SHALL BE PLACED ON TOP OF AN AGGREGATE PAD. ADDITIONALLY, A PERIMETER AGGREGATE BERM SHALL BE CONSTRUCTED AROUND THE BAG. PERIMETER CONTROLS SUCH AS SILT FENCE SHALL BE UTILIZED ALONG THE DOWNSTREAM SIDE OF THE BAG. THE PERIMETER CONTROLS SHALL BE INSTALLED TO ENSURE THAT THE WATER FLOWING OUT OF THE BAG DOES NOT FLOW AROUND THE ENDS OF THE CONTROLS. UPON COMPLETION, THE BAG SHALL BE REMOVED TO AN AREA AWAY FROM THE STORM WATER OUTFALL AND OPENED. THE ACCUMULATED SEDIMENTS SHALL BE SPREAD OUT TO ALLOW TO DRY AND STABILIZED WITH VEGETATION. FILTER BAG SHALL BE JMD ENVIRO-PROTECTION FILTER BAG, SIZE IS 15' x 15' OR EQUAL.

MAINTENANCE:
THE FILTER BAG SHALL BE REPLACED WHEN THE BAG IS HALF FILLED WITH SEDIMENT.

THE CONTRACTOR SHALL CONTACT THE PROJECT INSPECTOR/ENGINEER FOR CONSULTATIVE SERVICES IF DEWATERING ACTIVITIES OVERWHELM THE FILTER BAG AND PERIMETER CONTROLS.

DEWATERING FILTER BAG
N.T.S.



ERDC TN-DOER-E21 September 2005
Figure 1.4.5.P.1. Type I and II Turbidity Curtain

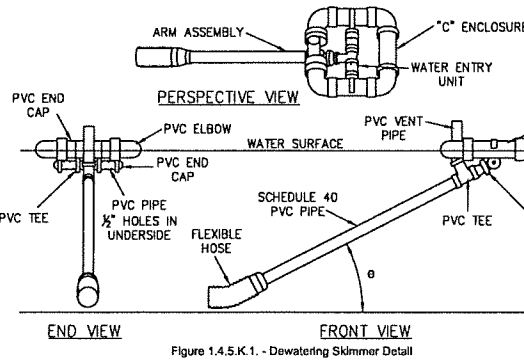
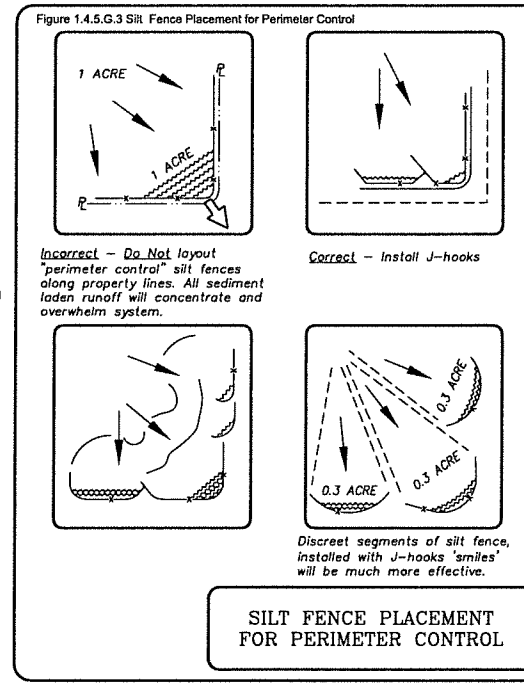


Figure 1.4.5.K.1 - Dewatering Skimmer Detail

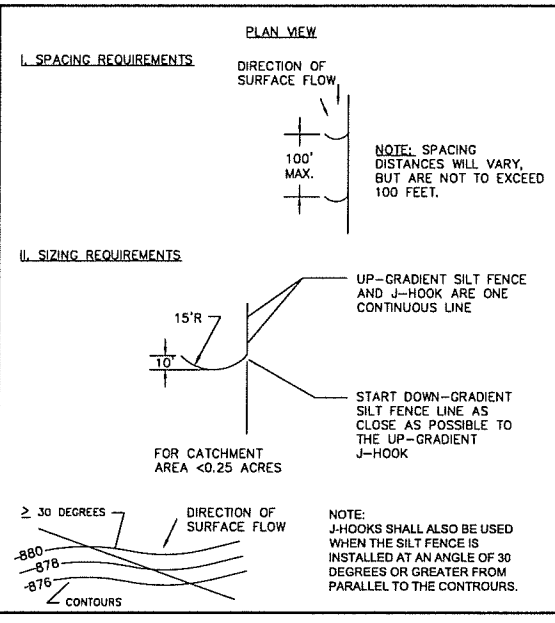
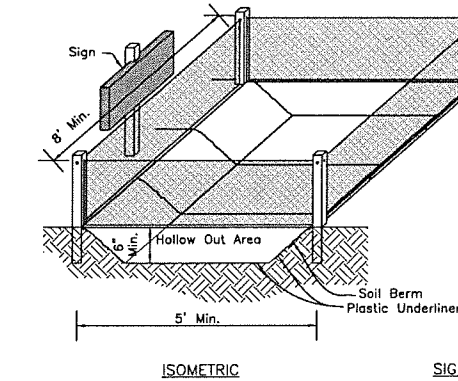


Figure 1.4.5.G.3 Silt Fence Placement for Perimeter Control



- NOTES:**
1. Concrete trucks shall utilize areas to washout trucks.
 2. Accumulated concrete shall be removed from the site and disposed of properly.
 3. Geotextile - will be placed over the entire Hollow Out Area prior to use.
 4. Provide all items noted above including removal of concrete washout upon completion of the project in Item 207 Concrete Washout, As Per Plan.

CONCRETE WASHOUT AREA
N.T.S.

ATKINS
11811 DOMAIN BOULEVARD, SUITE 500
AUSTIN, TEXAS 78758 - (512) 371-6840
TYPE NO. REG. F-174

DESIGNED BY: MAB/CEA
DRAWN BY: JLC
CHECKED BY: PAB/TPB
APPROVED BY: SAS
DATE: MARCH, 2018

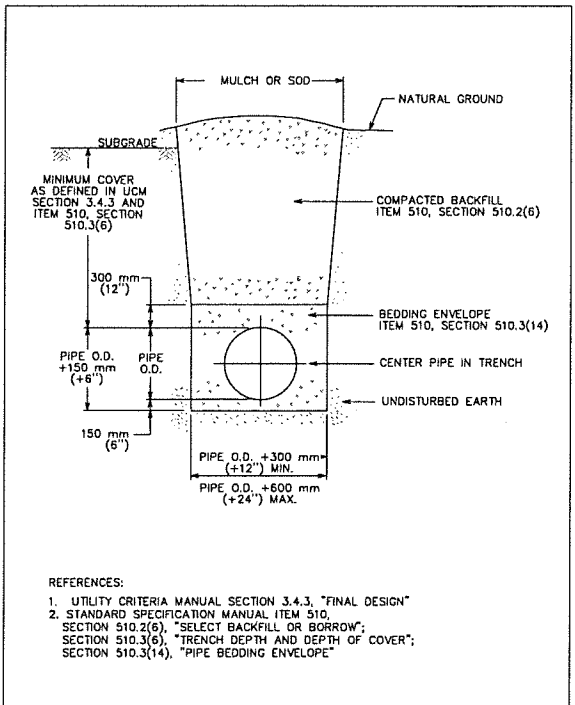
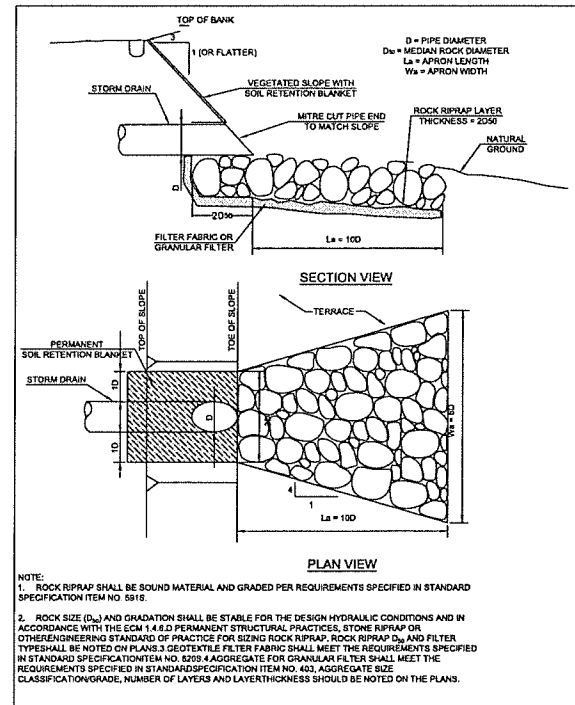
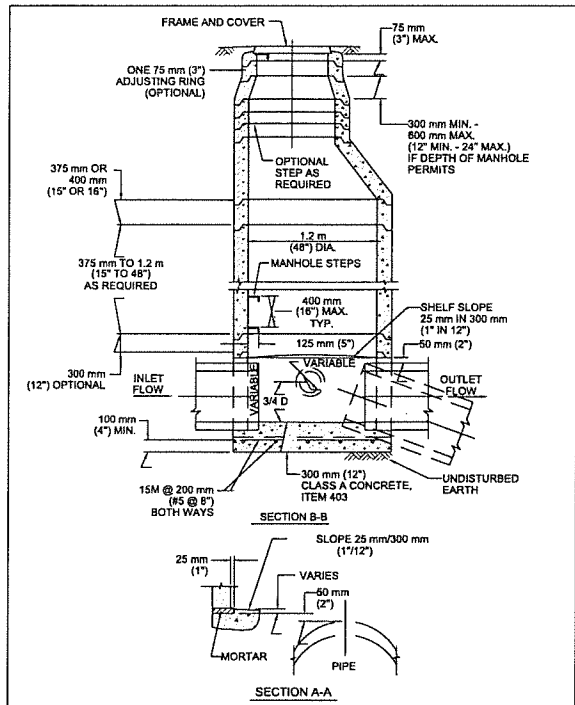
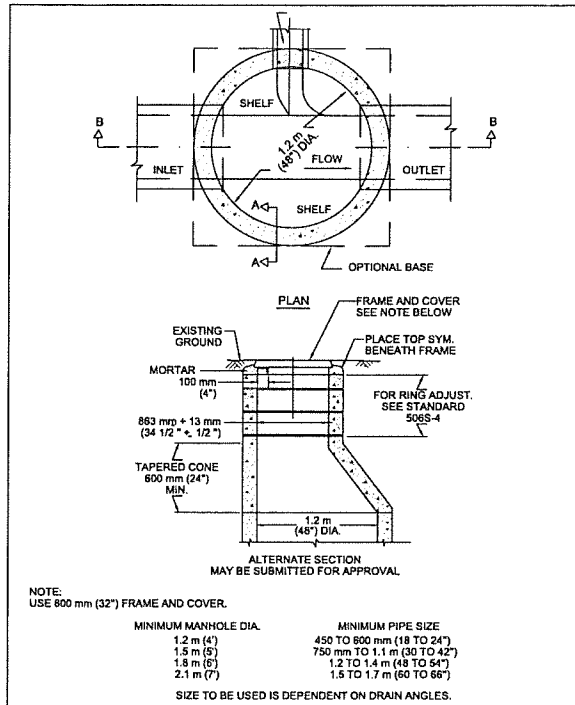
**ZILKER PARK
AUSTIN CITY LIMITS STAGING AREA
SITE DEVELOPMENT PERMIT PLANS**

EROSION AND SEDIMENTATION CONTROL DETAILS

SHEET NO. 19
OF 29 SHEETS

FILE NO. 53691-13-DETL
PROJECT NO. 100053691
SPC-2017-0482C

C:\pwork\atkins\atkins\cabr9534\dms22533\53691-13-DETL.dwg



CITY OF AUSTIN
DEPARTMENT OF WATERSHED PROTECTION AND DEVELOPMENT REVIEW
RECORD COPY SIGNED BY GEORGE E. OSWALD 2/14/02 ADOPTED

PRE-CAST CONCRETE STORM DRAIN MANHOLE
STANDARD NO. 506S-3
1 OF 2

CITY OF AUSTIN
DEPARTMENT OF WATERSHED PROTECTION AND DEVELOPMENT REVIEW
RECORD COPY SIGNED BY GEORGE E. OSWALD 2/14/02 ADOPTED

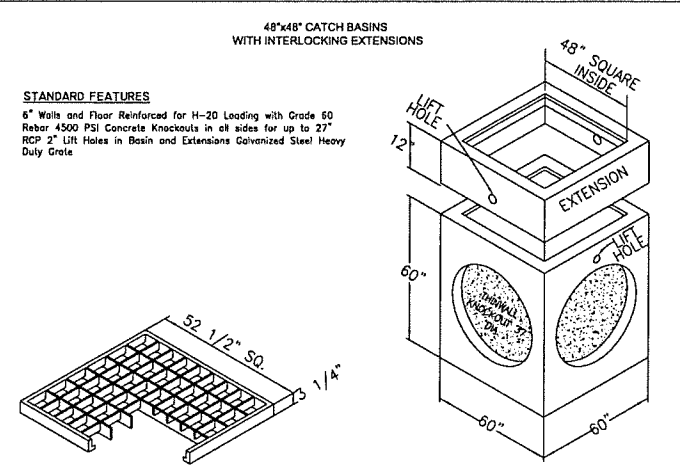
PRE-CAST CONCRETE STORM DRAIN MANHOLE
STANDARD NO. 506S-3
2 OF 2

CITY OF AUSTIN
WATERSHED PROTECTION DEPARTMENT
RECORD COPY SIGNED BY MORGAN BYARS 09/01/2011 ADOPTED

STORM DRAIN OUTFALL PROTECTION PIPE DISCHARGE ON TERRACE/PLANDS
STANDARD NO. 508S-17

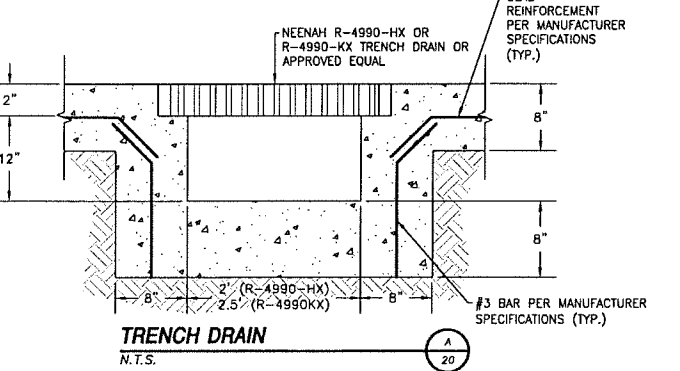
CITY OF AUSTIN
DEPARTMENT OF PUBLIC WORKS
RECORD COPY SIGNED BY BILL GARDNER 03/13/06 ADOPTED

TYPICAL TRENCH DETAIL WITH UNFINISHED SURFACE
STANDARD NO. 510S-5



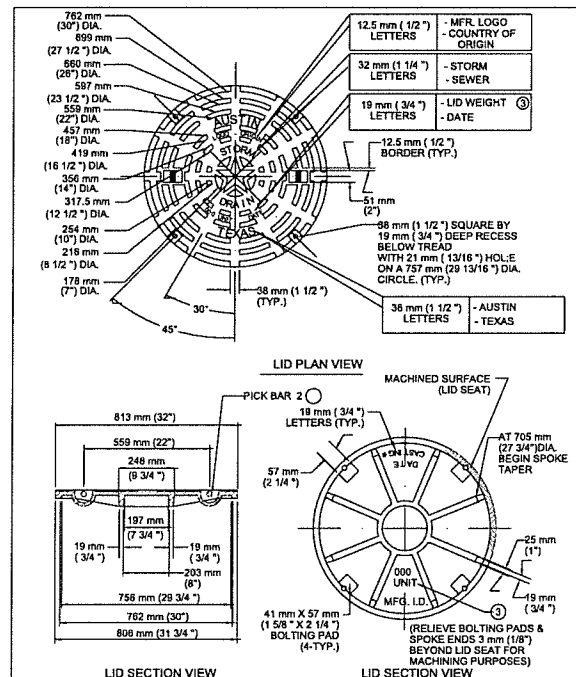
Catch Basin Size LxL	Grate Size LxL	Open Area (sq ft)	Head (ft) A	Capacity (cfs) h	Grate Type
1.5' x 1.5'	21 1/4" x 21 1/4"	1.22	0.50	2.07	East Jordan Iron Works Type V-5720 or Approved Equal
2' x 2'	27 1/2" x 27 1/2"	2.23	0.50	3.80	East Jordan Iron Works Type V-5720 or Approved Equal
2.5' x 2.5'	33 3/4" x 33 3/4"	3.26	0.50	5.56	East Jordan Iron Works Type V-5732 or Approved Equal
3' x 3'	42 1/2" x 42 1/2"	6.78	0.50	11.55	42 1/2" x 42 1/2" Galvanized Steel Grating Material
4' x 4'	52 1/2" x 52 1/2"	12.05	0.50	20.53	52 1/2" x 52 1/2" Galvanized Steel Grating Material

NOTES:
1. ALL GRATE INLETS REQUIRE ANGLE FRAMES TO FIT GRATES AS SPECIFIED IN TABLE ABOVE.
2. INLET IN SUMP (ORIFICE FLOW)
Q = 4.82Ah^{1.48} ASSUME 50% CLOGGING FACTOR
SOURCE: CITY OF AUSTIN DRAINAGE CRITERIA MANUAL, SECTION 4.3.0 (b), SEPTEMBER 2001 SUPPLEMENT



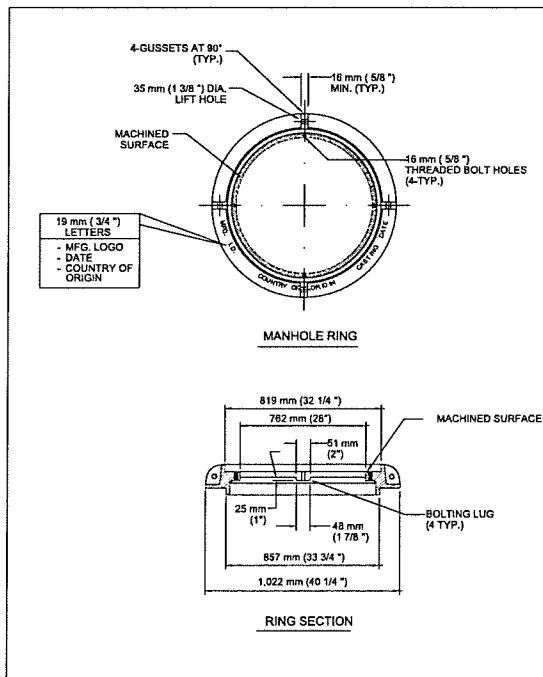
CITY OF AUSTIN
DEPARTMENT OF WATERSHED PROTECTION AND DEVELOPMENT REVIEW
RECORD COPY SIGNED BY GEORGE E. OSWALD 2/14/02 ADOPTED

BOLTED STORM DRAIN MANHOLE RING AND 813 mm (32") COVER
STANDARD NO. 503S-5S
1 OF 3



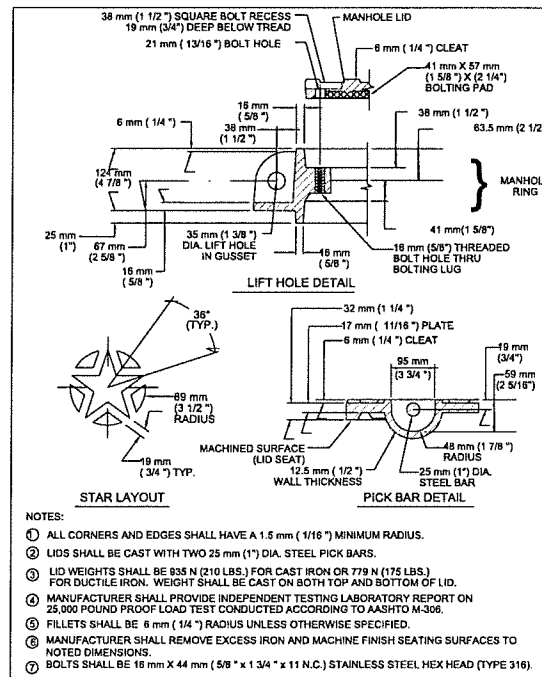
CITY OF AUSTIN
DEPARTMENT OF WATERSHED PROTECTION AND DEVELOPMENT REVIEW
RECORD COPY SIGNED BY GEORGE E. OSWALD 2/14/02 ADOPTED

BOLTED STORM DRAIN MANHOLE RING AND 813 mm (32") COVER
STANDARD NO. 503S-5S
1 OF 3



CITY OF AUSTIN
DEPARTMENT OF WATERSHED PROTECTION AND DEVELOPMENT REVIEW
RECORD COPY SIGNED BY GEORGE E. OSWALD 2/14/02 ADOPTED

BOLTED STORM DRAIN MANHOLE RING AND 813 mm (32") COVER
STANDARD NO. 503S-5S
2 OF 3



CITY OF AUSTIN
DEPARTMENT OF WATERSHED PROTECTION AND DEVELOPMENT REVIEW
RECORD COPY SIGNED BY GEORGE E. OSWALD 2/14/02 ADOPTED

BOLTED STORM DRAIN MANHOLE RING AND 813 mm (32") COVER
STANDARD NO. 503S-5S
3 OF 3

THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 20 of 29
FILE NUMBER: SPC-2017-04820 APPLICATION DATE: 11/27/2017
APPROVED BY COMMISSION ON UNDER SECTION 142 OF CHAPTER 25-6 OF THE CITY OF AUSTIN CODE.
EXPIRATION DATE (25-5-81, LDC) CASE MANAGER N. HOELTER
PROJECT EXPIRATION DATE (ORD.#970905-A) DWPZ DDZ

Director, Development Review Department
RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
Rev. 1 _____ Correction 1 _____
Rev. 2 _____ Correction 2 _____
Rev. 3 _____ Correction 3 _____

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

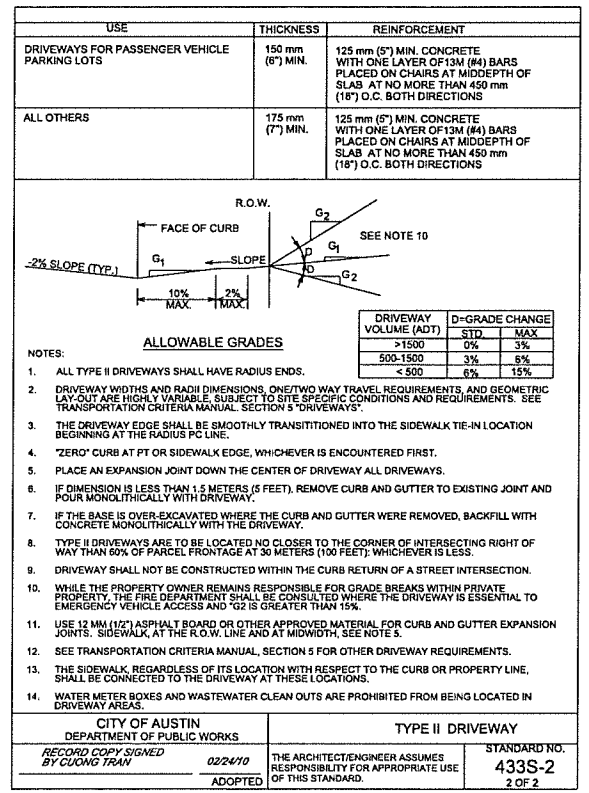
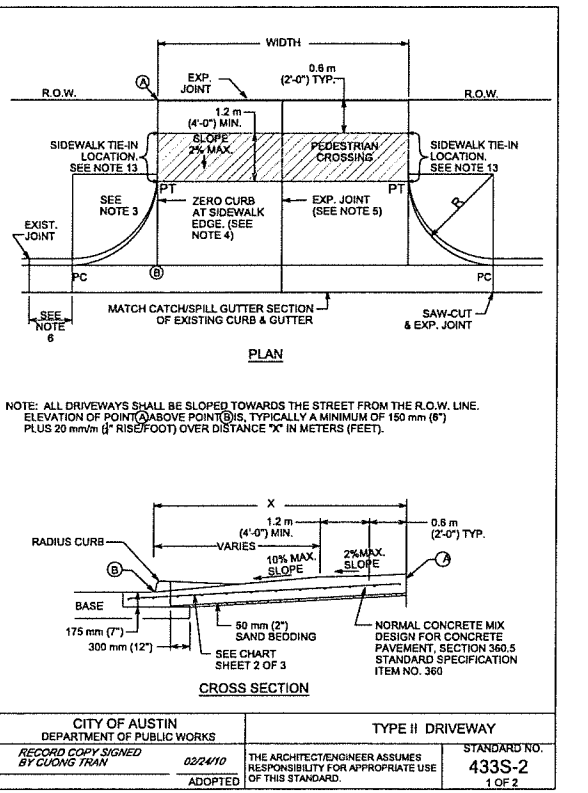
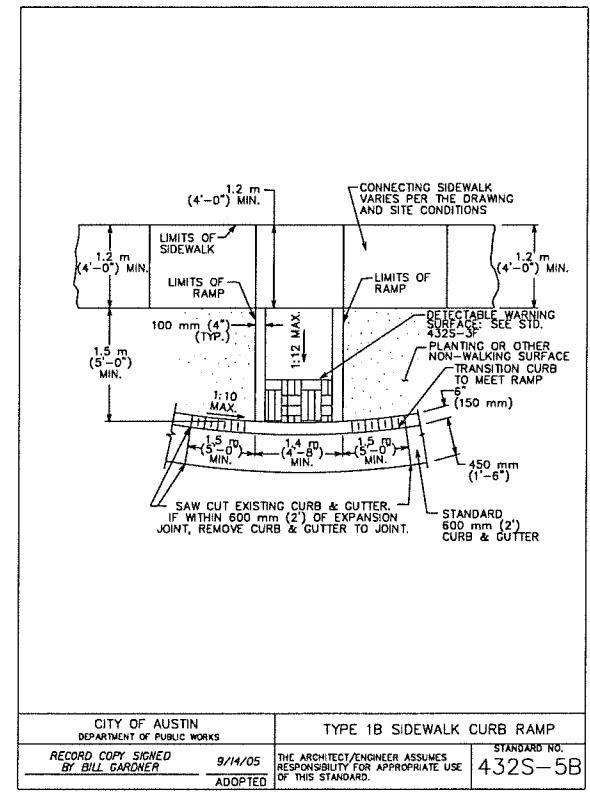
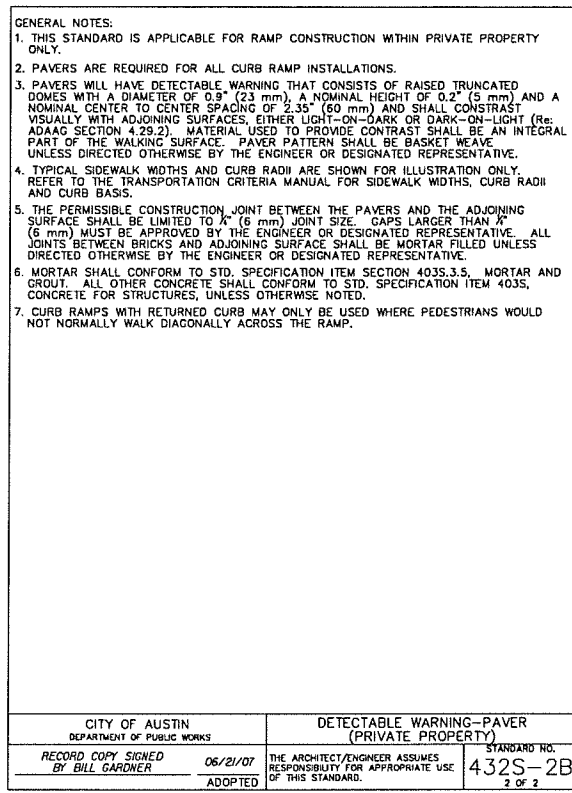
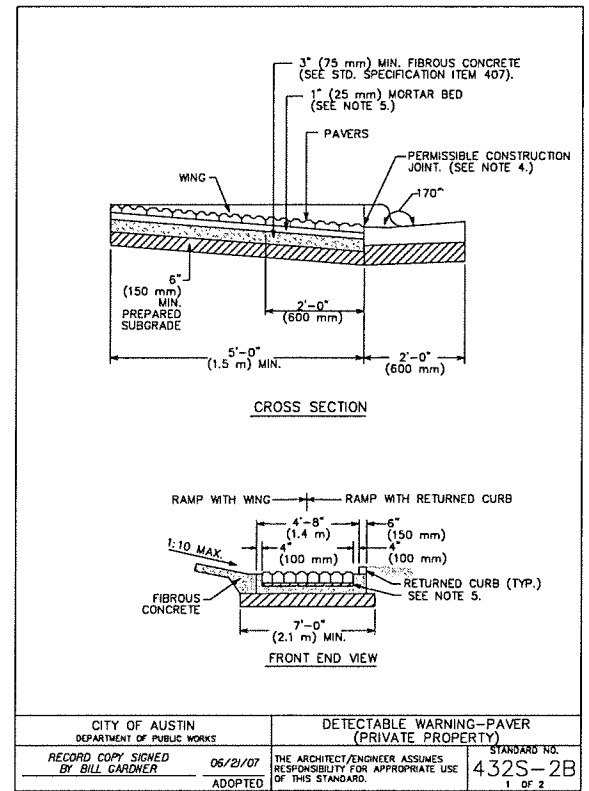
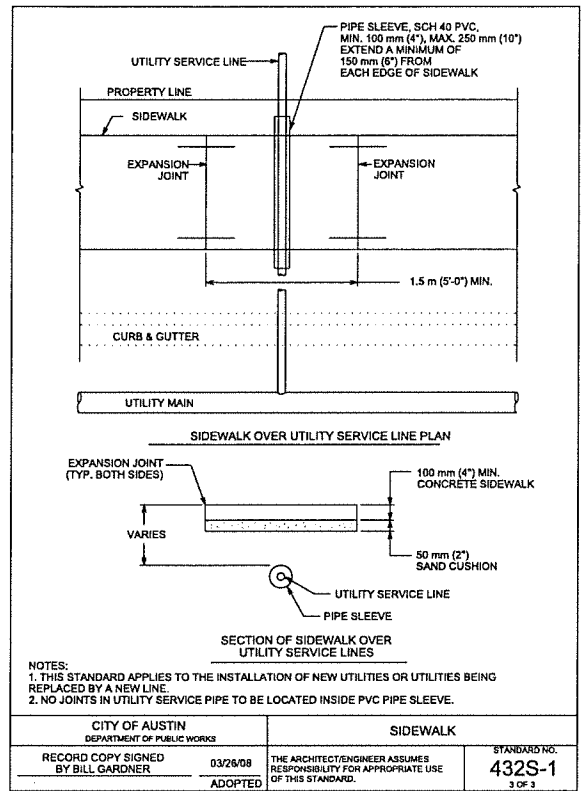
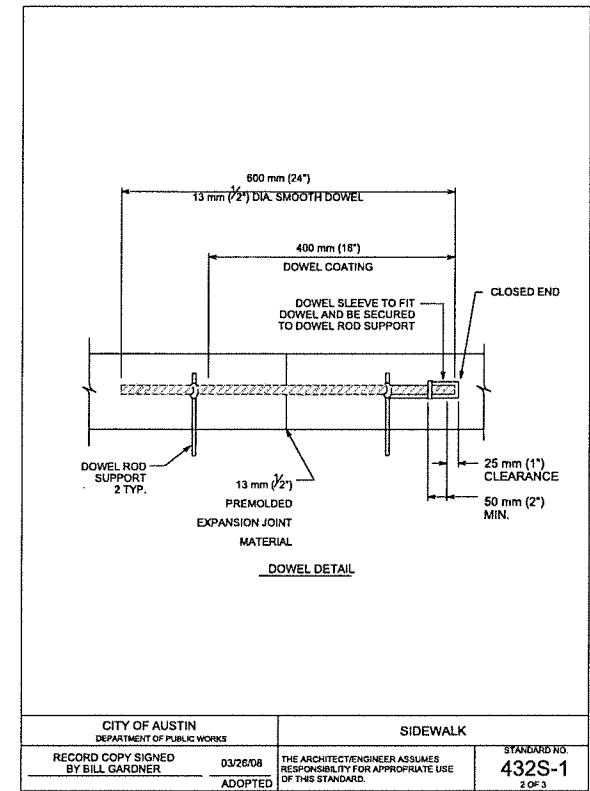
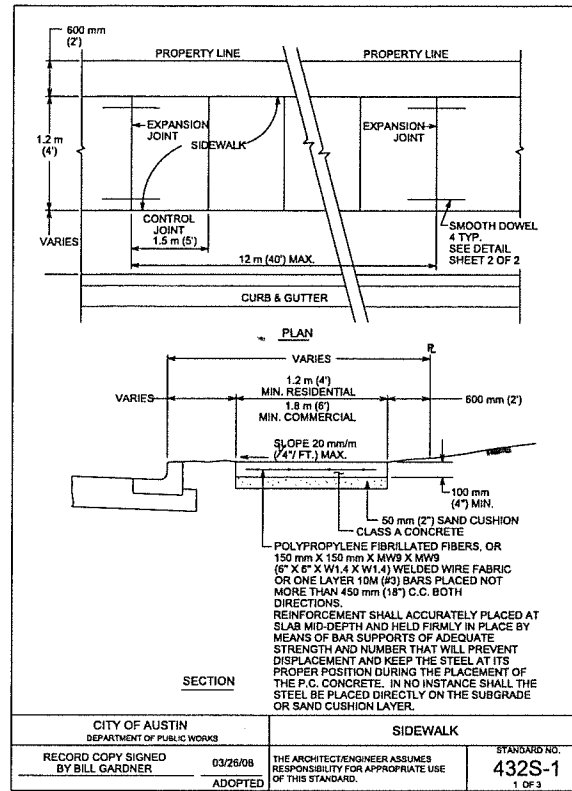
ATKINS
11801 DOMAIN BOULEVARD, SUITE 500
AUSTIN, TEXAS 78758 - (912) 377-8640
TYPE REG. NO. F-74

ZILKER PARK
AUSTIN CITY LIMITS STAGING AREA
SITE DEVELOPMENT PERMIT PLANS
DRAINAGE DETAILS

SHEET NO. 20
OF 29 SHEETS
FILE NO. 53691-13-DETL
PROJECT NO. 100053691

DESIGNED BY:	DATE:
NAB/CEA	MARCH 2018
DRAWN BY:	
J.L.C.	
CHECKED BY:	
PAB/TPB	
APPROVED BY:	
SAS	
NO.	
REVISION	

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THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 21 of 29

FILE NUMBER: **BPC-2017-0482C** APPLICATION DATE: **11/21/2017**

APPROVED BY COMMISSION ON _____ UNDER SECTION **142** OF CHAPTER **25-6** OF THE CITY OF AUSTIN CODE

EXPIRATION DATE (25-5-81, LDC) _____ CASE MANAGER **N. HOELTER**

PROJECT EXPIRATION DATE (ORD.#970905-A) _____ DWP2 _____ 002 _____

Director, Development Review Department

RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____

Rev. 1 _____ Correction 1 _____

Rev. 2 _____ Correction 2 _____

Rev. 3 _____ Correction 3 _____

Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

DESIGNED BY: MAB/CEA
DRAWN BY: JLC
CHECKED BY: PAB/TPB
APPROVED BY: SAS
DATE: MARCH, 2018

ATKINS

11801 DOMAIN BOULEVARD, SUITE 500
AUSTIN, TEXAS 78738 • (512) 337-6840
TYPE RES. NO. 7474

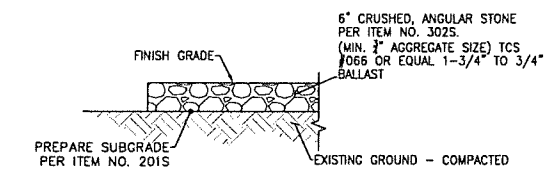
ZILKER PARK
AUSTIN CITY LIMITS STAGING AREA
SITE DEVELOPMENT PERMIT PLANS

SITE DETAILS

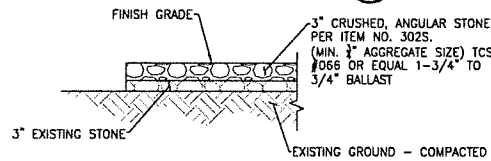
SHEET NO. 21 OF 29 SHEETS

FILE NO. 53691-13-DEIL
PROJECT NO. 100053691

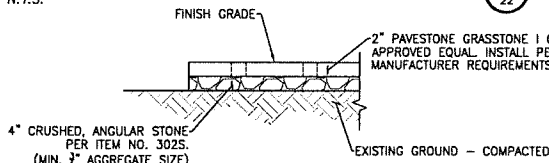
SPC-2017-0482C



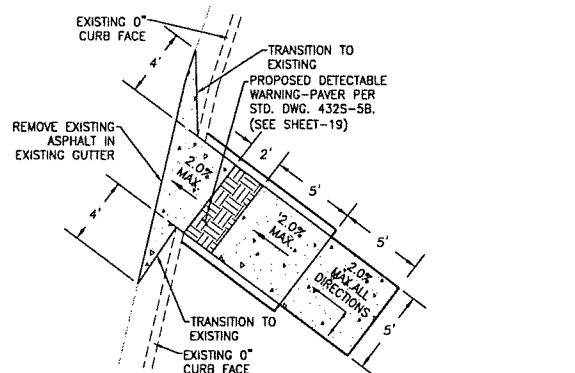
CRUSHED STONE STAGING AREA
N.T.S.



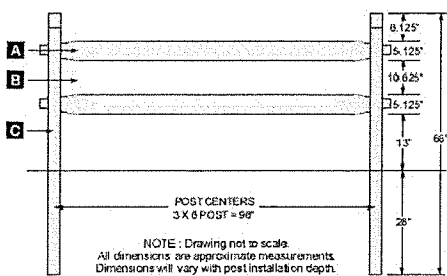
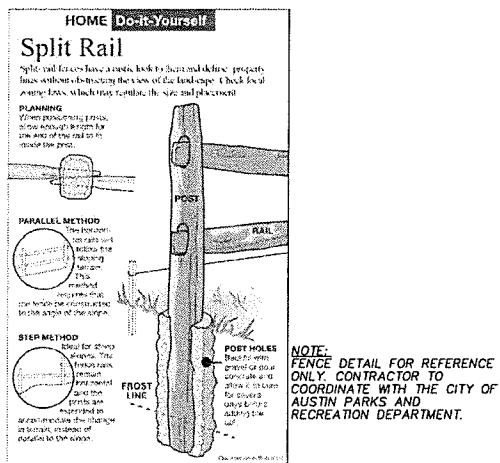
CRUSHED STONE OVER EXISTING STONE
N.T.S.



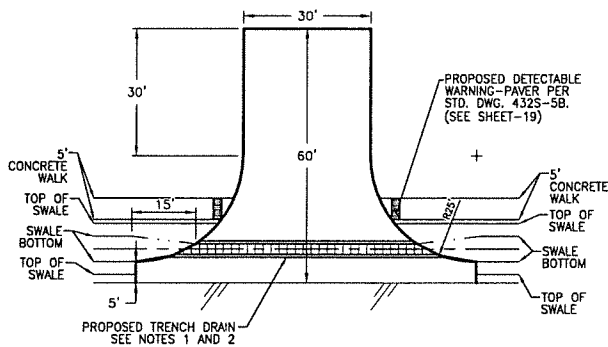
PERVIOUS PAVERS
N.T.S.



RAMP DETAIL
N.T.S.

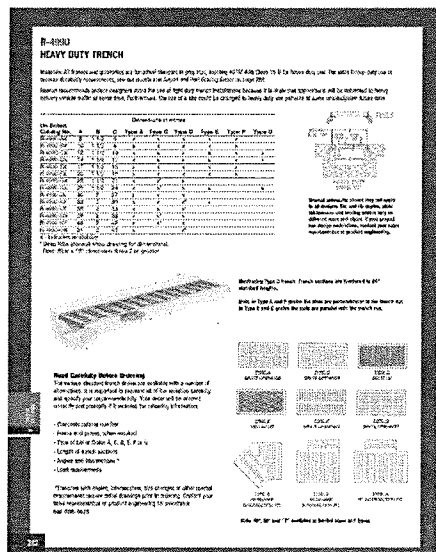


LIGHT POLE CUT SHEET
N.T.S.



- NOTE:
- TRENCH DRAIN GRATE TO BE NEENAH R-4990-HX OR R-4990-KX OR APPROVED EQUAL. CONTRACTOR TO CUT GRATE TO MATCH EDGE OF PAVEMENT AS NECESSARY.
 - LENGTH OF TRENCH DRAIN PROVIDED IS MEASURED AT THE EDGE CLOSEST TO THE EXISTING EDGE OF PAVEMENT.
 - TAPER SWALE BOTTOM TO MATCH TRENCH WIDTH OVER 15'.
 - CONCRETE DRIVEWAY PER STD. NO. 4335-2, SEE SHEET 21.

TYPICAL DRIVEWAY DETAIL
N.T.S.



NEENAH HEAVY DUTY TRENCH
N.T.S.

FIRSTLIGHT
TECHNOLOGIES

SCL-2 Series
SOLAR LED INTEGRATED COMMERCIAL AREA LIGHT

PHOTOMETRICS (IES Files available on request)

ORDER MATRIX

ITEM	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	SCL-2 Series Solar LED Light	1	EA	100.00	100.00
2	Geotextile Fabric	1	EA	50.00	50.00
3	Geomembrane Liner	1	EA	50.00	50.00
4	Geotextile Fabric	1	EA	50.00	50.00

Biofiltration Bed Configurations Using Geomembrane Liner

Biofiltration Bed Configurations Using Clay Liner / No Liner Required

CITY OF AUSTIN
WATERSHED PROTECTION DEPARTMENT
12/30/14 ADOPTED

BIOFILTRATION BED CONFIGURATIONS USING GEOMEMBRANE/CLAY LINER
STANDARD NO. 661-3

PARKING LOT BUMPER CURB

CITY OF AUSTIN
DEPARTMENT OF PUBLIC WORKS
RECORD COPY SIGNED BY BILL GARDNER APPROVED 3/15/05

STANDARD NO. 439S-1

DESIGNED BY: NAB/JCA
DRAWN BY: JLC
CHECKED BY: PAB/TPB
APPROVED BY: SAS
DATE: MARCH 2018

STORMWATER DRAINAGE FACILITY

NO MOTORIZED VEHICLES
NO DUMPING

FOR MAINTENANCE INFORMATION
CALL THE CITY OF AUSTIN 311

HEIGHT	24"
LENGTH	18"
THICKNESS	0.08"
SUBSTRATE	ALUMINUM ALLOY, 6061-T-6, OR TYPE IV 5052-H38 (ASTM B-209)
COLOR	LETTERING AND BORDER BLACK

CITY OF AUSTIN
DEPARTMENT OF PUBLIC WORKS
E. J. Pank, P.E. 1/4/2016 ADOPTED

STORM WATER FACILITY SIGN
STANDARD NO. 662S-3

THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 22 of 29
FILE NUMBER: SPC-2017-0482C APPLICATION DATE: 11/27/2017
APPROVED BY COMMISSION ON UNDER SECTION 142 OF CHAPTER 25B OF THE CITY OF AUSTIN CODE
EXPIRATION DATE (25-5-81, LDC) CASE MANAGER: N. HOELTER
PROJECT EXPIRATION DATE (ORD. 970905-A) DWPZ DOZ

Director, Development Review Department
RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
Rev. 1 _____ Correction 1 _____
Rev. 2 _____ Correction 2 _____
Rev. 3 _____ Correction 3 _____

Final plan must be recorded by the Project Expiration Date. If applicable, Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

ATKINS

1101 DOMAIN BOULEVARD, SUITE 500
AUSTIN, TEXAS 78758 - (512) 377-8840
TYPE REG. NO. F-747

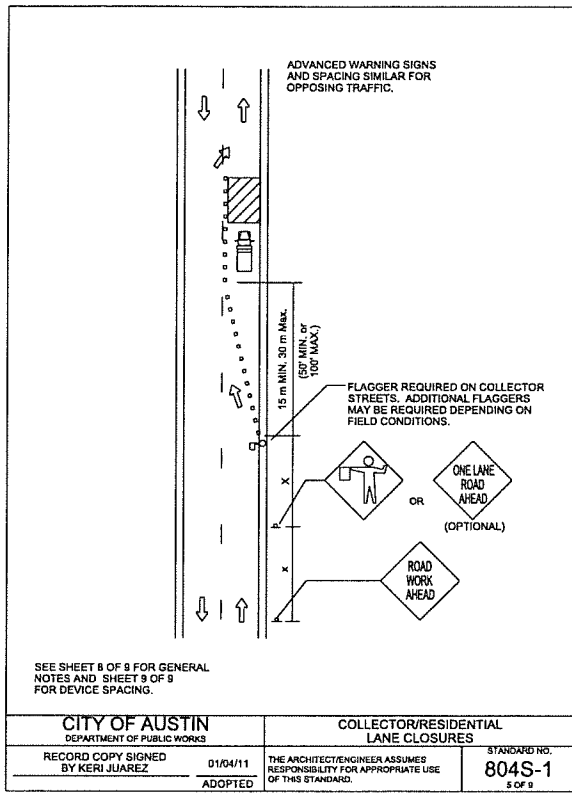
ZILKER PARK
AUSTIN CITY LIMITS STAGING AREA
SITE DEVELOPMENT PERMIT PLANS

SITE DETAILS

SHEET NO. 22 OF 29 SHEETS

FILE NO. 53691-13-DETL
PROJECT NO. 100053691

SPC-2017-0482C



CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS		COLLECTOR/RESIDENTIAL LANE CLOSURES	
RECORD COPY SIGNED BY KERI JUAREZ	01/04/11 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	STANDARD NO. 804S-1 5 OF 9

- ALL SETUPS SHALL BE IN ACCORDANCE WITH THE CURRENT ADDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE CITY OF AUSTIN TRANSPORTATION CRITERIA MANUAL.
- TO DETERMINE APPROPRIATE DEVICES AND SIGN SIZES TO BE USED, REFER TO STANDARD 804S-5, SHEETS 5, 6 AND 7 OF 11.
- FOR INTERMEDIATE-TERM SITUATIONS, WHEN IT IS NOT FEASIBLE TO REMOVE AND RESTORE PAVEMENT MARKINGS, THE CHANNELIZATION MUST BE MADE DOMINANT BY USING A VERY CLOSE DEVICE SPACING. THIS IS ESPECIALLY IMPORTANT IN LOCATIONS OF CONFLICTING INFORMATION, SUCH AS WHERE TRAFFIC IS DIRECTED OVER A DOUBLE YELLOW CENTERLINE. IN SUCH LOCATIONS, A MAXIMUM CHANNELIZING DEVICE SPACING OF 3 m (10') IS REQUIRED.
- FOR LONG TERM STATIONARY WORK, ALL CONFLICTING PAVEMENT MARKINGS MUST BE REMOVED AND CENTERLINE STRIPING PROVIDED WHERE TWO WAY TRAFFIC IS IN ADJACENT LANES.
- FOR TEMPORARY PAVEMENT MARKING REQUIREMENTS SEE STANDARD 804S-3.
- FOR ONE-WAY AND MULTI-LANE ROADWAYS THE "LANE BLOCKED" SIGN MAY BE USED IN LIEU OF THE "LANE CLOSED AHEAD" SIGN. THE NUMBER OF DIGITS ON THE SIGN SHALL NOT BE GREATER THAN THE NUMBER OF LANES PRESENT ON THE ROADWAY. THE "X" SHALL BE PLACED UNDER THE NUMBER OF LANE(S) BLOCKED.
- FOR FLAGGING OPERATION REQUIREMENTS SEE STANDARD 804S-2.
- CONTRACTOR SHALL PROVIDE SIDEWALK CLOSURES, CROSSWALK CLOSURES OR WALKWAY BYPASS WHEREVER PEDESTRIAN MOVEMENTS ARE AFFECTED BY CONSTRUCTION ACTIVITIES. ALL SIDEWALKS AND CROSSWALKS SHALL BE ACCESSIBLE WHEN CONTRACTOR IS NOT WORKING UNLESS APPROVED BY THE TRANSPORTATION DIVISION.
- FOR EXCAVATION PROTECTION AND SAFETY FENCE REQUIREMENTS SEE STANDARD 804S-4.
- THE USE OF ARROW DISPLAYS ARE REQUIRED ON ALL LANE CLOSURES. THE CONTRACTOR SHALL PROVIDE ONE (1) STAND-BY UNIT IN GOOD WORKING CONDITION AT THE JOB SITE, READY FOR USE IF THE OPERATION REQUIRES 24-HOUR A DAY LANE CLOSURE SET-UPS.

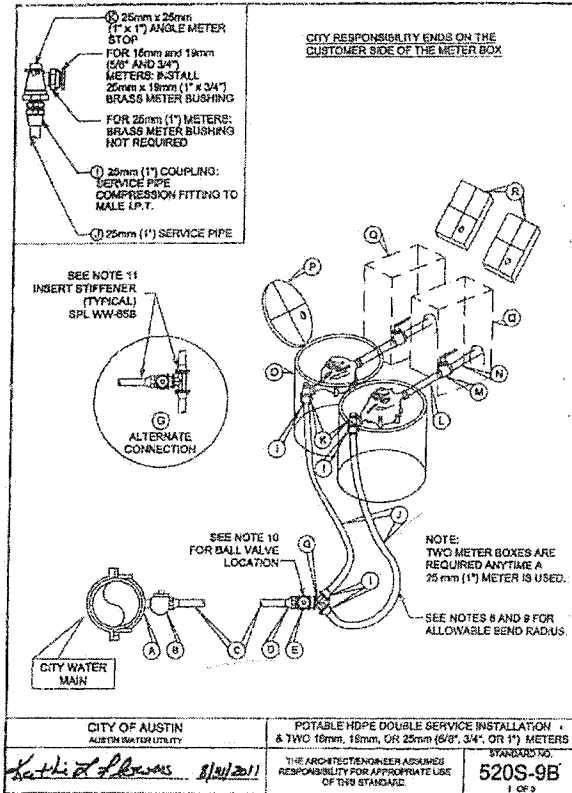
CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS		GENERAL NOTES	
RECORD COPY SIGNED BY KERI JUAREZ	01/04/11 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	STANDARD NO. 804S-1 8 OF 9

Typical Transition Lengths and Suggested Maximum Spacing of Devices

Speed KMPH	Posted Speed MPH	Formula	3.0(10) Offset Meters (feet)	3.3(11) Offset Meters (feet)	3.6(12) Offset Meters (feet)	On e taper Meters (feet)	On a tangent Meters (feet)	"X" Dimension
50	30	L=WS ² /60	45 (150)	50 (165)	55 (180)	9 (30)	15-20 (50-75)	40 (120)
55	35		65 (205)	70 (225)	75 (245)	10 (35)	25-25 (70-90)	50 (150)
65	40		80 (265)	90 (295)	100 (320)	12 (40)	25-30 (80-100)	75 (240)
70	45	L=WS	135 (450)	150 (495)	165 (540)	13 (45)	25-30 (80-110)	100 (320)
80	50		150 (500)	165 (550)	180 (600)	15 (50)	30-35 (100-125)	120 (400)
90	55		165 (550)	185 (605)	200 (660)	16 (55)	35-40 (110-140)	150 (500)
95	60	L=WS	180 (600)	200 (660)	220 (720)	18 (60)	40-45 (120-150)	180 (600)
105	65		195 (650)	215 (715)	235 (780)	19 (65)	40-50 (130-165)	210 (700)
115	70		215 (700)	235 (770)	255 (840)	21 (70)	45-55 (140-175)	240 (800)

LEGEND

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS		DEVICE SPACING	
RECORD COPY SIGNED BY KERI JUAREZ	01/04/11 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	STANDARD NO. 804S-1 9 OF 9



CITY OF AUSTIN AUSTIN WATER UTILITY		POTABLE HOPE DOUBLE SERVICE INSTALLATION & TWO 15mm, 19mm, OR 25mm (5/8", 3/4", OR 1") METERS	
RECORD COPY SIGNED BY KATHI FLOWERS	01/31/2011	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	STANDARD NO. 520S-9B 1 OF 3

DESIGNED BY: NAB/CEA	DRAWN BY: JLC	CHECKED BY: PAB/TPB	APPROVED BY: SAS	DATE: MARCH 2016
ATKINS				
11801 DOMAIN BOULEVARD, SUITE 500 AUSTIN, TEXAS 78758 - (512) 371-6640 TBE REG. NO. F-474				

ZILKER PARK
AUSTIN CITY LIMITS STAGING AREA
SITE DEVELOPMENT PERMIT PLANS
UTILITY AND TRAFFIC CONTROL DETAILS

SHEET NO. 23	OF 29 SHEETS
FILE NO. 53691-13-DETL	
PROJECT NO. 100053691	

MATERIAL LIST

- SERVICE CLAMP REQUIRED ON ALL PLASTIC AND ASBESTOS CEMENT PIPE AND ON ALL IRON PIPE 300mm (12") AND SMALLER.
- 50mm (2") CORPORATION STOP MALE THREADED INLET BY COMPRESSION OUTLET, SPL WW-88
- 50mm (2") SERVICE TUBING PER SPL WW-65
- COUPLING: 50mm (2") COMPRESSION TO 38mm (1-1/2") MALE I.P.T.
- 38mm (1-1/2") BALL VALVE; SEE SPL WW-275 AND NOTE 10
- N/A
- 38mm (1-1/2") x 25mm (1") BRONZE WYE, SPL WW-68 OR TEE (ALTERNATE CONNECTION)
- N/A
- 25mm (1") COUPLING: SERVICE TUBING TO MALE I.P.T. (COMPRESSION FITTING) W/STIFFENER PER SPL WW-65B
- 25mm (1") SERVICE TUBING
- 25mm (1") ANGLE METER STOP; SERVICE TUBING INLET x SWIVEL COUPLING NUT OUTLET, AND 25mm x 19mm (1" x 3/4") BRASS BUSHING, A 25mm x 19mm (1" x 3/4") METER BUSHING IS REQUIRED AT THE ANGLE STOP TO BE INSTALLED BY PLUMBER FOR ALL 15mm (5/8") AND 19mm (3/4") METERS, SPL WW-68
- WATER METER COUPLING: MALE I.P.T. x SWIVEL COUPLING NUT
- FOR 19mm AND 15mm (5/8" AND 3/4") METERS: 19mm x 21mm (3/4" x 1-1/2") LONG
- FOR 25mm (1") METERS: 25mm x 21mm (1" x 8-1/2") LONG
- CUSTOMER BALL VALVE 25mm (1") SEE SPL WW-275
- 25mm (1") TUBING MEETING CITY OF AUSTIN PLUMBING CODE REQUIREMENTS
- METER BOX PER SPL WW-145 OR WW-146A
- AMVIC READY LID FOR METER BOX FURNISHED WITH APPROVED BOX
- RECTANGULAR PLASTIC BOX FOR CUSTOMER'S CUT-OFF VALVE AND PRV (WHEN REQ'D)
- 300mm x 425mm x 300mm (12" x 17" x 12") OR EQUAL. SIZE MAY VARY WITH PRV AND SHOULD BE BUZZED FOR OPERATION OF BALL VALVE. SEE SPL WW-145A.
- RECTANGULAR PLASTIC BOX LID, 300mm x 425mm x 300mm (12" x 17" x 12") OR EQUAL. SEE SPL WW-145A.

CITY OF AUSTIN AUSTIN WATER UTILITY		POTABLE HOPE DOUBLE SERVICE INSTALLATION & TWO 15mm, 19mm, OR 25mm (5/8", 3/4", OR 1") METERS	
RECORD COPY SIGNED BY KATHI FLOWERS	01/31/2011	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	STANDARD NO. 520S-9B 2 OF 3

NOTES:

- SERVICE SADDLE SHALL BE WRAPPED COMPLETELY WITH 0.2mm (8 MIL) POLYETHYLENE FILM.
- BRANCH CONNECTION AND BOTH ANGLE METER STOPS MUST BE INSTALLED PRIOR TO FIRST METER INSTALLATION EVEN THOUGH SECOND PROPERTY MAY NOT BE READY FOR SERVICE.
- TOP OF BOXES SHOULD BE 25mm (1") ABOVE GROUND OR FLUSH WITH PAVEMENT SURFACE.
- PIPING AND TUBING IN STREET RIGHT-OF-WAY SHALL BE BEDDED IN GRANULAR MATERIALS AS REQUIRED BY SECTION 510.3 (14) OF THE CITY OF AUSTIN STANDARD SPECIFICATIONS; BACKFILL ABOVE GRANULAR BEDDING AS REQUIRED BY SECTION 510.3 (25).
- BOX MUST BE BEHIND CURB NEXT TO PROPERTY LINE AND/OR SIDEWALK AND OUT OF VEHICULAR TRAFFIC AREA.
- INSTALL METALLIC WARNING TAPE MIN. 1" ABOVE P.E. TUBING FROM TAP CONNECTION TO METER.
- TUBING SHALL BE PLACED SO THAT IT IS RELAXED AND "SNAKES" LOOSELY IN THE TRENCH.
- TUBING, WHEN BENT, SHALL HAVE A RADIUS NO SMALLER THAN THE VALUE SHOWN IN TABLE 1.
- IF A FITTING WILL BE INSTALLED WITHIN A BENT SECTION OF TUBING, THE TUBING SHALL HAVE A RADIUS NO SMALLER THAN THE VALUE SHOWN IN TABLE 2.
- B.V. (B) SHALL NOT BE LOCATED UNDER CURB OR PAVEMENT, AND NOT BE LOCATED MORE THAN 600mm (24") HORIZONTALLY FROM METER BOX OR 600mm (24") BELOW FINAL GRADE.
- INSERT STIFFENERS FOR P.E. TUBING PER SPL WW-85B TO BE INSTALLED INSIDE TUBING AT ALL COMPRESSION FITTINGS.

TABLE 1 (SEE NOTE 8)		TABLE 2 (SEE NOTE 8)	
Nominal Tubing Dia.	Bend Radius of at Least	Nominal Tubing Dia.	Bend Radius of at Least
25mm (1")	0.9m (3')	25mm (1")	3.66m (12')
38mm (1-1/2")	1.2m (4')	38mm (1-1/2")	4.86m (16')
50mm (2")	1.5m (5')	50mm (2")	6.06m (20')

CITY OF AUSTIN AUSTIN WATER UTILITY		POTABLE HOPE DOUBLE SERVICE INSTALLATION & TWO 15mm, 19mm, OR 25mm (5/8", 3/4", OR 1") METERS	
RECORD COPY SIGNED BY KATHI FLOWERS	01/31/2011	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	STANDARD NO. 520S-9B 3 OF 3

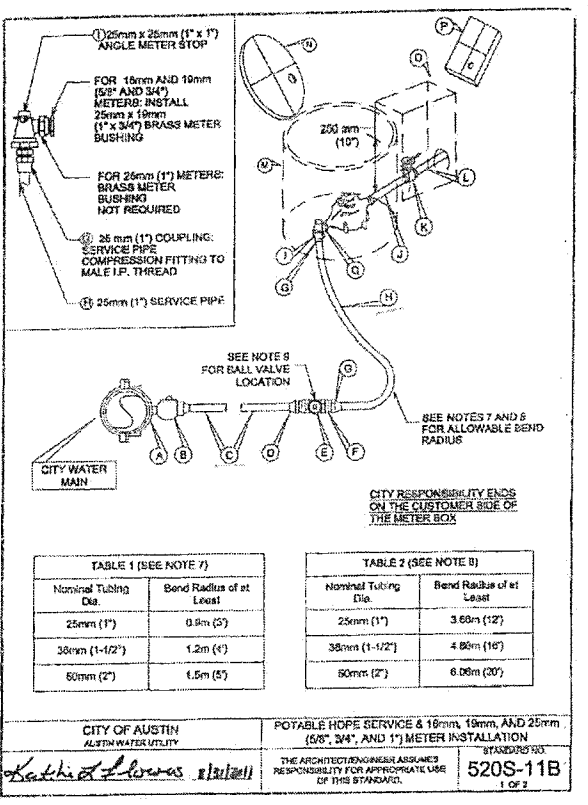


TABLE 1 (SEE NOTE 7)		TABLE 2 (SEE NOTE 8)	
Nominal Tubing Dia.	Bend Radius of at Least	Nominal Tubing Dia.	Bend Radius of at Least
25mm (1")	0.9m (3')	25mm (1")	3.66m (12')
38mm (1-1/2")	1.2m (4')	38mm (1-1/2")	4.86m (16')
50mm (2")	1.5m (5')	50mm (2")	6.06m (20')

CITY OF AUSTIN AUSTIN WATER UTILITY		POTABLE HOPE SERVICE & 15mm, 19mm, AND 25mm (5/8", 3/4", AND 1") METER INSTALLATION	
RECORD COPY SIGNED BY KATHI FLOWERS	01/31/2011	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	STANDARD NO. 520S-11B 1 OF 2

MATERIAL LIST

- SERVICE CLAMP REQUIRED ON ALL PLASTIC AND ASBESTOS CEMENT PIPE AND ON ALL IRON PIPE 300mm (12") AND SMALLER.
- 50mm (2") CORPORATION STOP MALE THREADED INLET BY COMPRESSION OUTLET, SPL WW-88
- 50mm (2") SERVICE TUBING
- 38mm (1-1/2") BALL VALVE; SEE SPL WW-275 AND NOTE 8
- BRONZE BUSHING 38mm x 25mm (1-1/2" x 1") I.P.T.
- 25mm (1") COUPLING: COMPRESSION TO MALE I.P.T.
- 38mm (1") SERVICE TUBING PER SPL WW-65
- ANGLE METER STOP; SERVICE TUBING INLET x SWIVEL COUPLING NUT OUTLET AND BRASS BUSHING. FOR 19mm AND 15mm (5/8" AND 3/4") METERS: 19mm x 19mm (1" x 3/4") BRASS BUSHING. FOR 25mm (1") METERS: BRASS STIFFENER BUSHING NOT REQUIRED
- FOR ALL SEE SPL WW-68
- WATER METER COUPLING: MALE I.P.T. x SWIVEL COUPLING NUT. FOR 19mm AND 15mm (5/8" AND 3/4") METERS: 19mm x 21mm (3/4" x 8-1/2") LONG. FOR 25mm (1") METERS: 25mm x 21mm (1" x 8-1/2") LONG
- BALL VALVE 19mm OR 25mm (3/4" OR 1") (PROPERTY OWNER'S CUT-OFF VALVE, SEE SPL WW-275)
- 19mm OR 25mm (3/4" OR 1") TUBING MEETING CITY OF AUSTIN PLUMBING CODE REQUIREMENTS
- METER BOX PER SPL WW-145 OR WW-146A
- AMVIC READY LID FOR METER BOX LID FURNISHED WITH APPROVED BOX
- PROPERTY OWNER'S CUT-OFF VALVE BOX-RECTANGULAR PLASTIC BOX
- RECTANGULAR PLASTIC BOX LID, 300mm x 425mm x 300mm (12" x 17" x 12") OR EQUAL.
- ANGLE METER STOP; SERVICE TUBING INLET x SWIVEL COUPLING NUT OUTLET. FOR 19mm AND 15mm (5/8" AND 3/4") METERS: 19mm x 19mm (1" x 3/4"). FOR 25mm (1") METERS: 25mm x 20mm (1" x 8")

NOTES:

- SERVICE SADDLE SHALL BE WRAPPED COMPLETELY WITH 0.2mm (8 MIL) POLYETHYLENE FILM.
- TOP OF BOXES SHOULD BE 25mm (1") ABOVE GROUND OR FLUSH WITH PAVEMENT SURFACE.
- PIPING AND TUBING IN STREET RIGHT-OF-WAY SHALL BE BEDDED IN GRANULAR MATERIALS AS REQUIRED BY SECTION 510.3 (14) OF THE CITY OF AUSTIN STANDARD SPECIFICATIONS; BACKFILL ABOVE GRANULAR BEDDING AS REQUIRED BY SECTION 510.3 (25).
- BOX MUST BE BEHIND CURB NEXT TO PROPERTY LINE AND/OR SIDEWALK AND OUT OF VEHICULAR TRAFFIC AREA.
- INSTALL METALLIC WARNING TAPE (MAGNETIC TRACER TAPE) MIN. 300mm (12") ABOVE P.E. TUBING FROM TAP CONNECTION TO METER.
- TUBING SHALL BE PLACED SO THAT IT IS RELAXED AND "SNAKES" LOOSELY IN THE TRENCH.
- TUBING, WHEN BENT, SHALL HAVE A RADIUS NO SMALLER THAN THE VALUE SHOWN IN TABLE 1.
- IF A FITTING WILL BE INSTALLED WITHIN A BENT SECTION OF TUBING, THE TUBING SHALL HAVE A RADIUS NO SMALLER THAN THE VALUE SHOWN IN TABLE 2.
- B.V. (B) SHALL NOT BE LOCATED UNDER CURB OR PAVEMENT, AND NOT BE LOCATED MORE THAN 600mm (24") HORIZONTALLY FROM METER BOX OR 600mm (24") BELOW FINAL GRADE.
- INSERT STIFFENERS FOR P.E. TUBING PER SPL WW-85B TO BE INSTALLED INSIDE TUBING AT ALL COMPRESSION FITTINGS.

CITY OF AUSTIN AUSTIN WATER UTILITY		POTABLE HOPE SERVICE & 15mm, 19mm, AND 25mm (5/8", 3/4", AND 1") METER INSTALLATION	
RECORD COPY SIGNED BY KATHI FLOWERS	01/31/2011	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	STANDARD NO. 520S-11B 2 OF 2

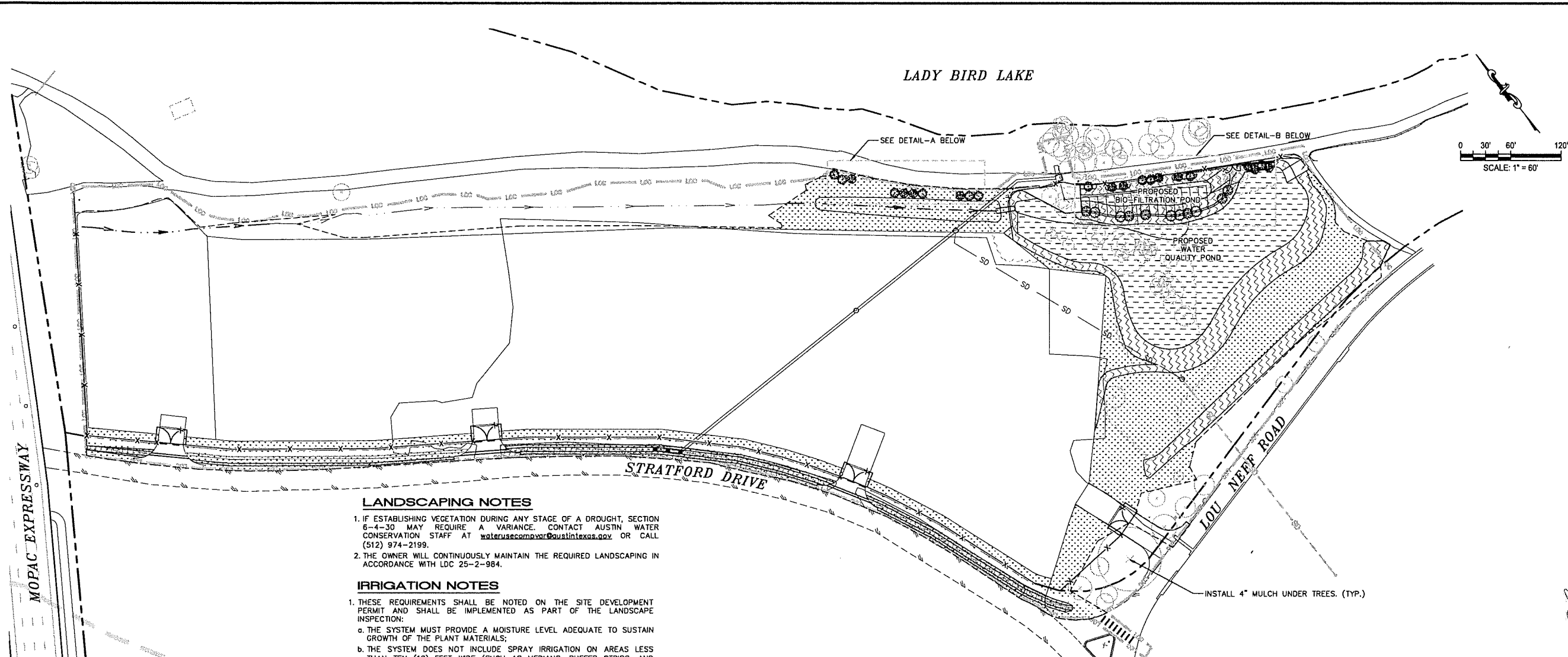
THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 23 of 29
 FILE NUMBER: **SPC-2017-04820** APPLICATION DATE: **11/27/2017**
 APPROVED BY COMMISSION ON UNDER SECTION **142** OF CHAPTER **25-5** OF THE CITY OF AUSTIN CODE.
 EXPIRATION DATE (25-5-81, LDC) CASE MANAGER **N. HOELTER**
 PROJECT EXPIRATION DATE (ORD.#970905-A) DWP2_002

Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE: _____
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

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LANDSCAPING NOTES

- IF ESTABLISHING VEGETATION DURING ANY STAGE OF A DROUGHT, SECTION 6-4-30 MAY REQUIRE A VARIANCE. CONTACT AUSTIN WATER CONSERVATION STAFF AT waterusecompvar@cityofaustin.gov OR CALL (512) 974-2199.
- THE OWNER WILL CONTINUOUSLY MAINTAIN THE REQUIRED LANDSCAPING IN ACCORDANCE WITH LDC 25-2-984.

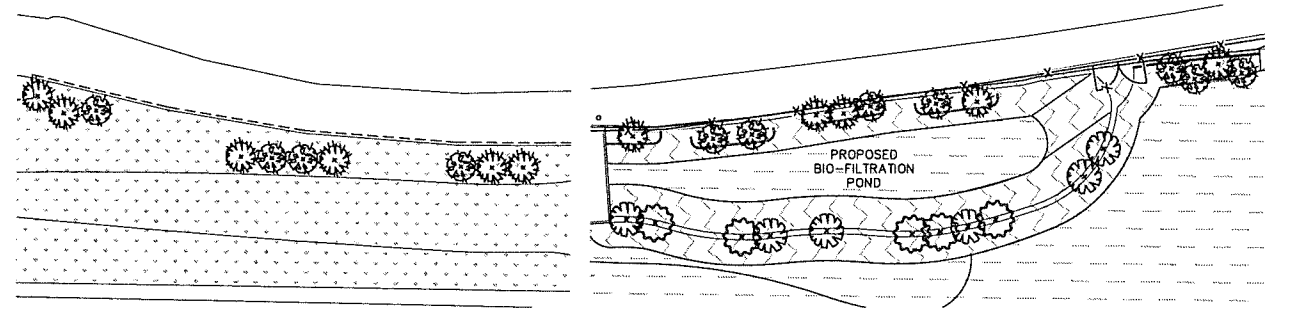
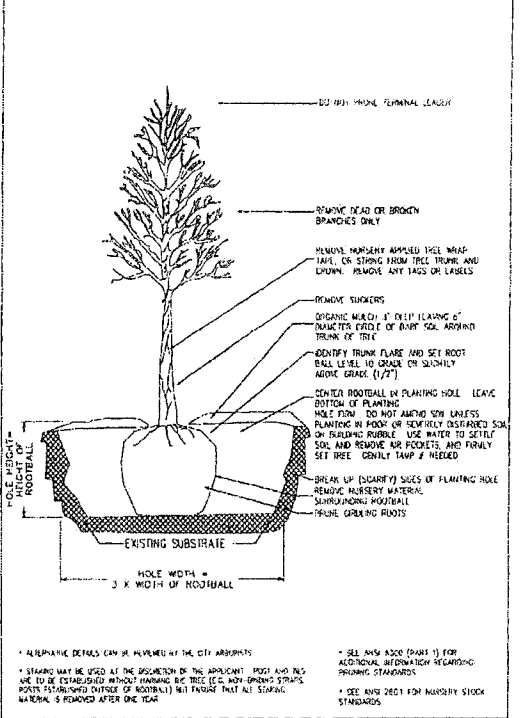
IRRIGATION NOTES

- THESE REQUIREMENTS SHALL BE NOTED ON THE SITE DEVELOPMENT PERMIT AND SHALL BE IMPLEMENTED AS PART OF THE LANDSCAPE INSPECTION:
 - THE SYSTEM MUST PROVIDE A MOISTURE LEVEL ADEQUATE TO SUSTAIN GROWTH OF THE PLANT MATERIALS;
 - THE SYSTEM DOES NOT INCLUDE SPRAY IRRIGATION ON AREAS LESS THAN TEN (10) FEET WIDE (SUCH AS MEDIANS, BUFFER STRIPS, AND PARKING LOT ISLANDS);
 - CIRCUIT REMOTE CONTROL VALVES HAVE ADJUSTABLE FLOW CONTROLS;
 - SERVICEABLE IN-HEAD CHECK VALVES AREA ADJACENT TO PAVED AREAS WHERE ELEVATION DIFFERENCES MAY CAUSE LOW HEAD DRAINAGE;
 - A MASTER VALVE INSTALLED ON THE DISCHARGE SIDE OF THE BACKFLOW PREVENTER;
 - ABOVE-GROUND IRRIGATION EMISSION DEVICES ARE SET BACK AT LEAST SIX (6) INCHES FROM IMPERVIOUS SURFACES;
 - AN AUTOMATIC RAIN SHUT-OFF DEVICE SHUTS OFF THE IRRIGATION SYSTEM AUTOMATICALLY AFTER MORE THAN A ONE-HALF INCH (1/2") RAINFALL; AND
 - NEWLY PLANTED TREES SHALL HAVE PERMANENT IRRIGATION CONSISTING OF DRIP OR BUBBLERS.
- THE IRRIGATION INSTALLER SHALL DEVELOP AND PROVIDE AN AS-BUILT DESIGN PLAN TO THE CITY AT THE TIME THE FINAL IRRIGATION INSPECTION IS PERFORMED;
 - UNLESS FISCAL SECURITY IS PROVIDED TO THE CITY FOR THE INSTALLATION OF THE SYSTEM, IT MUST BE OPERATIONAL AT THE TIME OF THE FINAL LANDSCAPE INSPECTION.
- THE IRRIGATION INSTALLER SHALL ALSO PROVIDE EXHIBITS TO BE PERMANENTLY INSTALLED INSIDE OR ATTACHED TO THE IRRIGATION CONTROLLER, INCLUDING:
 - A LAMINATED COPY OF THE WATER BUDGET CONTAINING ZONE NUMBERS, PRECIPITATION RATE, AND GALLONS PER MINUTE; AND A ZONE MAP WITH THE ISOLATION VALVE LOCATION.
- THE IRRIGATION INSTALLER SHALL PROVIDE A REPORT TO THE CITY ON A FORM PROVIDED BY AUSTIN WATER CERTIFYING COMPLIANCE WITH SUBSECTION 1. WHEN THE FINAL PLUMBING INSPECTION IS PERFORMED BY THE CITY.

LEGEND

- SOIL RETENTION BLANKET, CLASS I, TYPE A PER CITY OF AUSTIN ITEM NO. 6055
- GEOGRID PER CITY OF AUSTIN ITEM NO. 6075.4.B
- PROPOSED GRASS AREA
- TREE TO BE REMOVED
- TREE TO BE PRESERVED
- LIMITS OF GRADING
- PROPOSED TEXAS PISTACHE TREE
- PROPOSED TEXAS REDBUD TREE
- PROPOSED CEDAR ELM TREE
- PROPOSED BIGTOOTH MAPLE TREE

FIGURE 3-14 TREE PLANTING DETAIL



TREE LAYOUT DETAIL
SCALE: 1"=30'

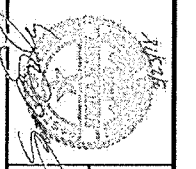
TREE LAYOUT DETAIL
SCALE: 1"=30'

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NO.	REVISION	BY/DATE

DESIGNED BY: NAB/CEA
 DRAWN BY: JLC
 CHECKED BY: PAB/TPB
 APPROVED BY: SAS
 DATE: MARCH, 2018

ATKINS
 11801 DOMAIN BOULEVARD, SUITE 500
 AUSTIN, TEXAS 78758 • (512) 337-4640
 TBP REG. NO. F-774



ZILKER PARK
 AUSTIN CITY LIMITS STAGING AREA
 SITE DEVELOPMENT PERMIT PLANS
 LANDSCAPE PLAN

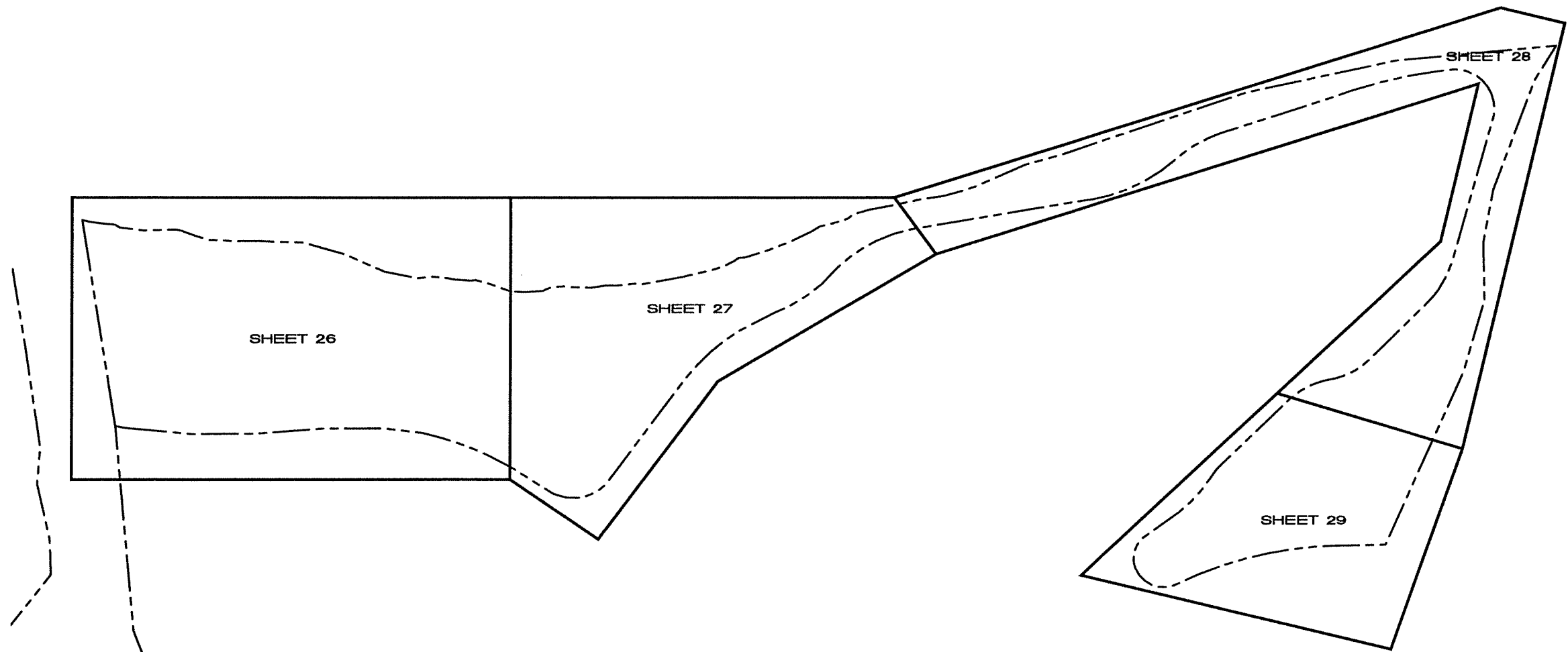
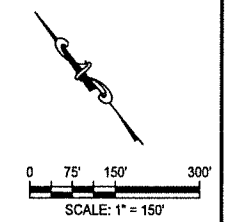
THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 24 of 29
 FILE NUMBER: SPC-2017-0482C APPLICATION DATE: 10/27/2017
 APPROVED BY COMMISSION ON _____ UNDER SECTION 142 OF CHAPTER 25-6 OF THE CITY OF AUSTIN CODE.
 EXPIRATION DATE (25-5-81, LDC) _____ CASE MANAGER N. HOELTER
 PROJECT EXPIRATION DATE (ORD.#970905-A) _____ DWPZ _____ DDZ _____

Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____

Final plot must be recorded by the Project Expiration Date. If applicable, Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

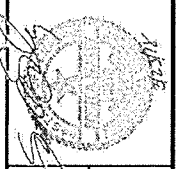
SHEET NO. 24
 OF 29 SHEETS
 FILE NO. 53691-15-LANDSCAPE
 PROJECT NO. 100053691
 SPC-2017-0482C



NO.	REVISION	BY	DATE

DESIGNED BY: MAB/CEA
 DRAWN BY: JLC
 CHECKED BY: PAB/TPB
 APPROVED BY: SAS
 DATE: MARCH, 2018

ATKINS
 1181 DOMAIN BOULEVARD, SUITE 500
 AUSTIN, TEXAS 78758 • (512) 377-8840
 TYPE REG. NO. F-474



ZILKER PARK
 AUSTIN CITY LIMITS STAGING AREA
 SITE DEVELOPMENT PERMIT PLANS
 PLAT BOUNDARY MAP

SHEET NO. 25
 OF 29 SHEETS
 FILE NO. 53691-16-BOUNDARY
 PROJECT NO. 100053691

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BENCHMARK USED

TEXAS COORDINATE SYSTEM, CENTRAL ZONE, NAD83 (GRID) COORDINATES, AS REFERENCED TO THE CITY OF AUSTIN MONUMENT NO. N-2-2401, PER CONTROL ESTABLISHED WITH VRS GPS OBSERVATIONS.

NOTES

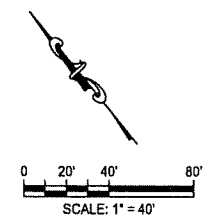
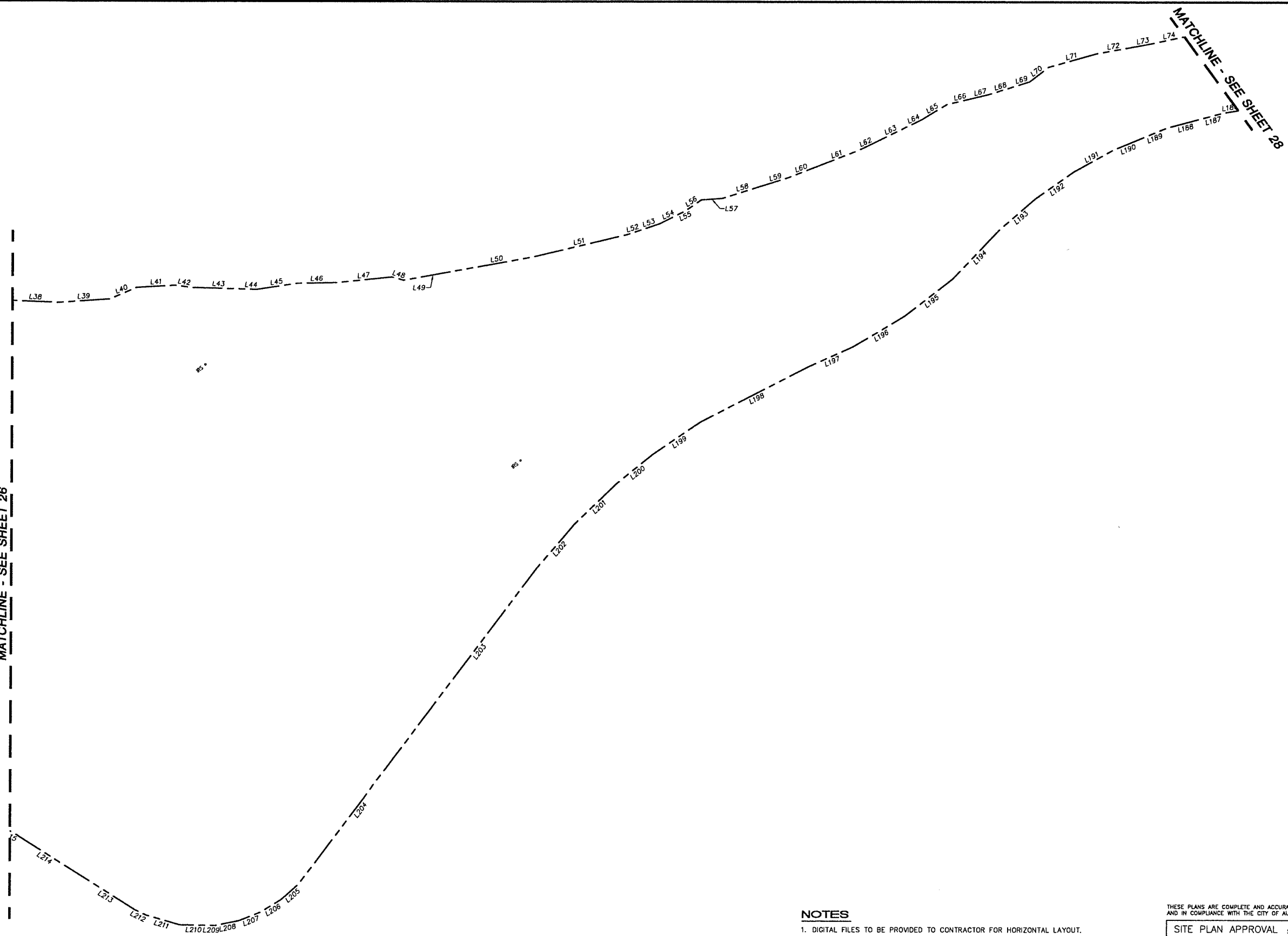
1. DIGITAL FILES TO BE PROVIDED TO CONTRACTOR FOR HORIZONTAL LAYOUT.
2. ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED IN PLAN.
3. SEE SECTION A-A, SHEET-10 FOR TYPICAL DIMENSIONS ALONG STRATFORD DRIVE.

THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 25 of 29
 FILE NUMBER: SPC-2017-0482C APPLICATION DATE: 11/27/2017
 APPROVED BY COMMISSION ON UNDER SECTION 142 OF CHAPTER 25-E OF THE CITY OF AUSTIN CODE.
 EXPIRATION DATE (25-5-81, LDC) CASE MANAGER N. HOELTER
 PROJECT EXPIRATION DATE (ORD.#970905-A) OWPZ DDZ
 Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE: Zoning: _____
 Rev. 1 Correction 1 _____
 Rev. 2 Correction 2 _____
 Rev. 3 Correction 3 _____
 Final plat must be recorded by the Project Expiration Date. If applicable, Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

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MATCHLINE - SEE SHEET 26



NOTES

1. DIGITAL FILES TO BE PROVIDED TO CONTRACTOR FOR HORIZONTAL LAYOUT.
2. ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED IN PLAN.
3. SEE SECTION A-A, SHEET-10 FOR TYPICAL DIMENSIONS ALONG STRATFORD DRIVE.

BENCHMARK USED

TEXAS COORDINATE SYSTEM, CENTRAL ZONE, NAD83 (GRID) COORDINATES, AS REFERENCED TO THE CITY OF AUSTIN MONUMENT NO. N-2-2401, PER CONTROL ESTABLISHED WITH VRS GPS OBSERVATIONS.

THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 27 of 29
 FILE NUMBER: SPC-2017-0482C APPLICATION DATE: 11/27/2017
 APPROVED BY COMMISSION ON _____ UNDER SECTION 142 OF
 CHAPTER 25-6 OF THE CITY OF AUSTIN CODE.
 EXPIRATION DATE (25-5-81, LDC) _____ CASE MANAGER N. HOELTER
 PROJECT EXPIRATION DATE (ORD.#970905-A) _____ DWPZ _____ DDZ _____

Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

NO.	REVISION	BY	DATE

DESIGNED BY: NAB/CEA
 DRAWN BY: JLC
 CHECKED BY: PAB/TPB
 APPROVED BY: SAS
 DATE: MARCH 2018

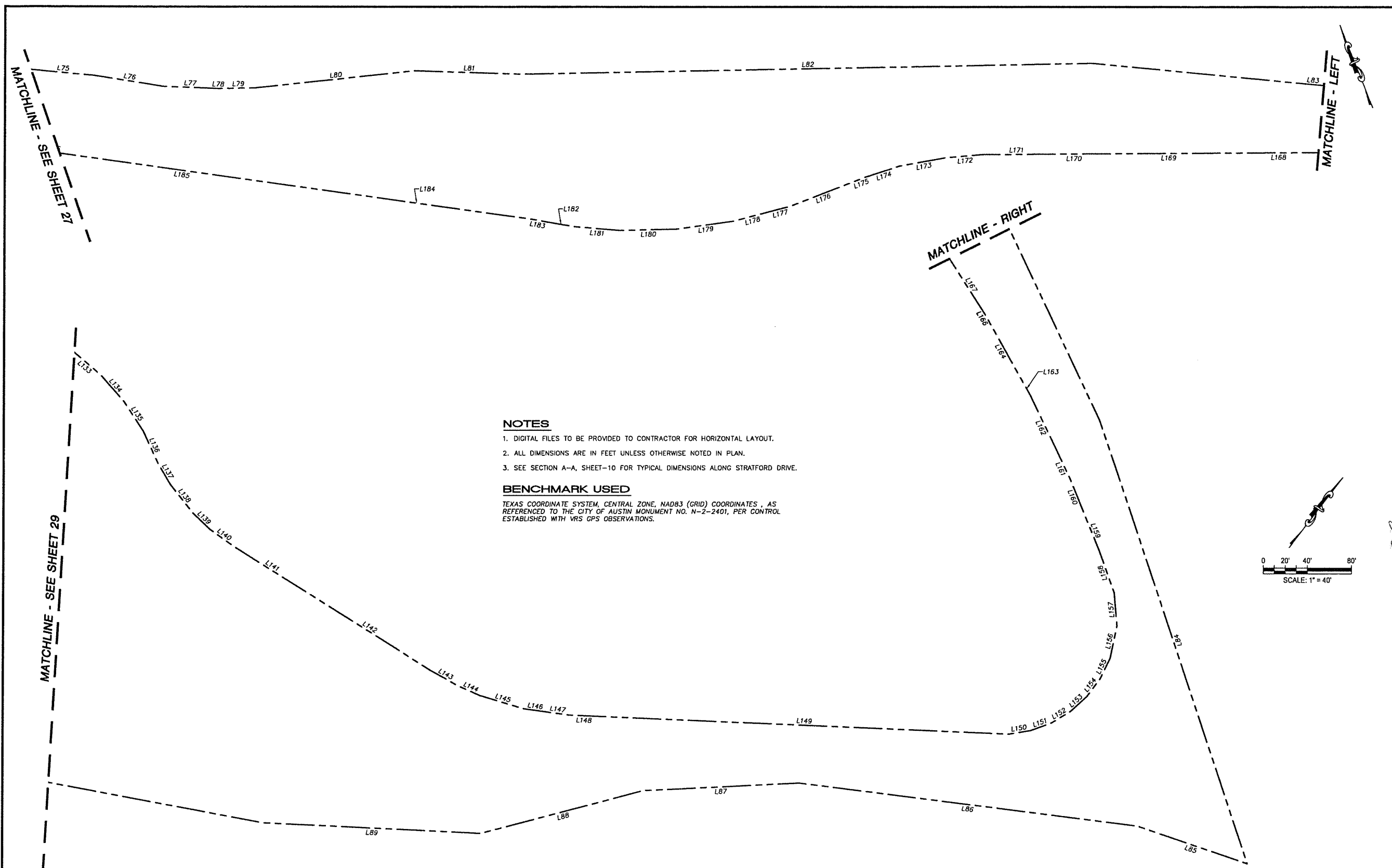
ATKINS
 11801 DOMAIN BOULEVARD, SUITE 500
 AUSTIN, TEXAS 78758 - (512) 337-8840
 TBP REG. NO. F-474



ZILKER PARK
 AUSTIN CITY LIMITS STAGING AREA
 SITE DEVELOPMENT PERMIT PLANS
 PLAT 2

SHEET NO. 27
 OF 29 SHEETS
 FILE NO. 53691-16-BOUNDARY
 PROJECT NO. 100053691

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NOTES

1. DIGITAL FILES TO BE PROVIDED TO CONTRACTOR FOR HORIZONTAL LAYOUT.
2. ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED IN PLAN.
3. SEE SECTION A-A, SHEET-10 FOR TYPICAL DIMENSIONS ALONG STRATFORD DRIVE.

BENCHMARK USED

TEXAS COORDINATE SYSTEM, CENTRAL ZONE, NAD83 (GRID) COORDINATES, AS REFERENCED TO THE CITY OF AUSTIN MONUMENT NO. N-2-2401, PER CONTROL ESTABLISHED WITH VRS GPS OBSERVATIONS.

THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 28 of 29
 FILE NUMBER: SPC-2017-0482C APPLICATION DATE: 11/27/2017
 APPROVED BY COMMISSION ON _____ UNDER SECTION 142 OF
 CHAPTER 25-6 OF THE CITY OF AUSTIN CODE.
 EXPIRATION DATE (25-5-81, LDC) _____ CASE MANAGER N. HOELTER
 PROJECT EXPIRATION DATE (ORD.#970905-A) _____ DWPZ DDZ

Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____

Final plot must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

DESIGNED BY: <u>NAB/CEA</u>	NO.	BY/DATE
DRAWN BY: <u>JLC</u>	NO.	BY/DATE
CHECKED BY: <u>PAB/TPB</u>	NO.	BY/DATE
APPROVED BY: <u>SAS</u>	NO.	BY/DATE
DATE: <u>MARCH, 2018</u>	NO.	BY/DATE

ATKINS
 1181 DOMAIN BOULEVARD, SUITE 600
 AUSTIN, TEXAS 78758 - (512) 377-8840
 TYPE REG. NO. F-474

ZILKER PARK
 AUSTIN CITY LIMITS STAGING AREA
 SITE DEVELOPMENT PERMIT PLANS

PLAT 3 AND 4

SHEET NO. **28**
 OF **29** SHEETS

FILE NO. 53691-16-BOUNDARY
 PROJECT NO. 100053691

SPC-2017-0482C

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LINE TABLE		
NO.	BEARING	DISTANCE
L1	S37°04'33"E	3.29'
L2	S37°04'32"E	14.34'
L3	S42°30'36"E	12.97'
L4	S42°30'39"E	20.44'
L5	S45°35'26"E	28.08'
L6	S45°35'27"E	7.12'
L7	S17°44'44"E	13.47'
L8	S43°24'00"E	64.96'

LINE TABLE		
NO.	BEARING	DISTANCE
L9	S52°20'39"E	22.01'
L10	S52°20'37"E	13.41'
L11	S52°20'39"E	38.17'
L12	S52°20'41"E	8.71'
L13	S40°36'05"E	14.19'
L14	S30°38'47"E	40.04'
L15	S30°39'00"E	2.32'
L16	S34°04'38"E	36.58'
L17	S49°58'11"E	11.96'

LINE TABLE		
NO.	BEARING	DISTANCE
L18	S49°58'13"E	16.48'
L19	S45°14'50"E	22.79'
L20	S45°14'51"E	7.94'
L21	S50°56'50"E	65.14'
L22	S48°51'24"E	120.40'
L23	S34°52'31"E	115.17'
L24	S26°59'45"E	113.54'
L25	S39°27'42"E	70.42'
L26	S39°27'44"E	18.42'
L27	S56°04'14"E	41.15'
L28	S45°00'00"E	6.02'
L29	S44°59'59"E	31.73'

LINE TABLE		
NO.	BEARING	DISTANCE
L30	S40°01'48"E	20.27'
L31	S46°46'17"E	41.72'
L32	S46°45'55"E	0.87'
L33	S57°05'22"E	0.28'
L34	S57°05'42"E	11.21'
L35	S57°05'32"E	1.08'
L36	S34°59'31"E	37.89'
L37	S30°39'03"E	58.45'
L38	S48°12'56"E	39.13'
L39	S54°33'15"E	44.96'
L40	S74°14'55"E	25.15'
L41	S53°58'22"E	33.77'
L42	S43°15'52"E	14.49'
L43	S48°59'28"E	46.25'
L44	S48°59'26"E	10.51'
L45	S59°22'53"E	35.34'
L46	S51°40'01"E	34.03'
L47	S56°30'49"E	48.38'

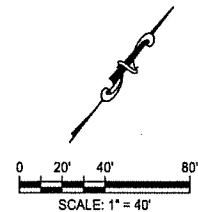
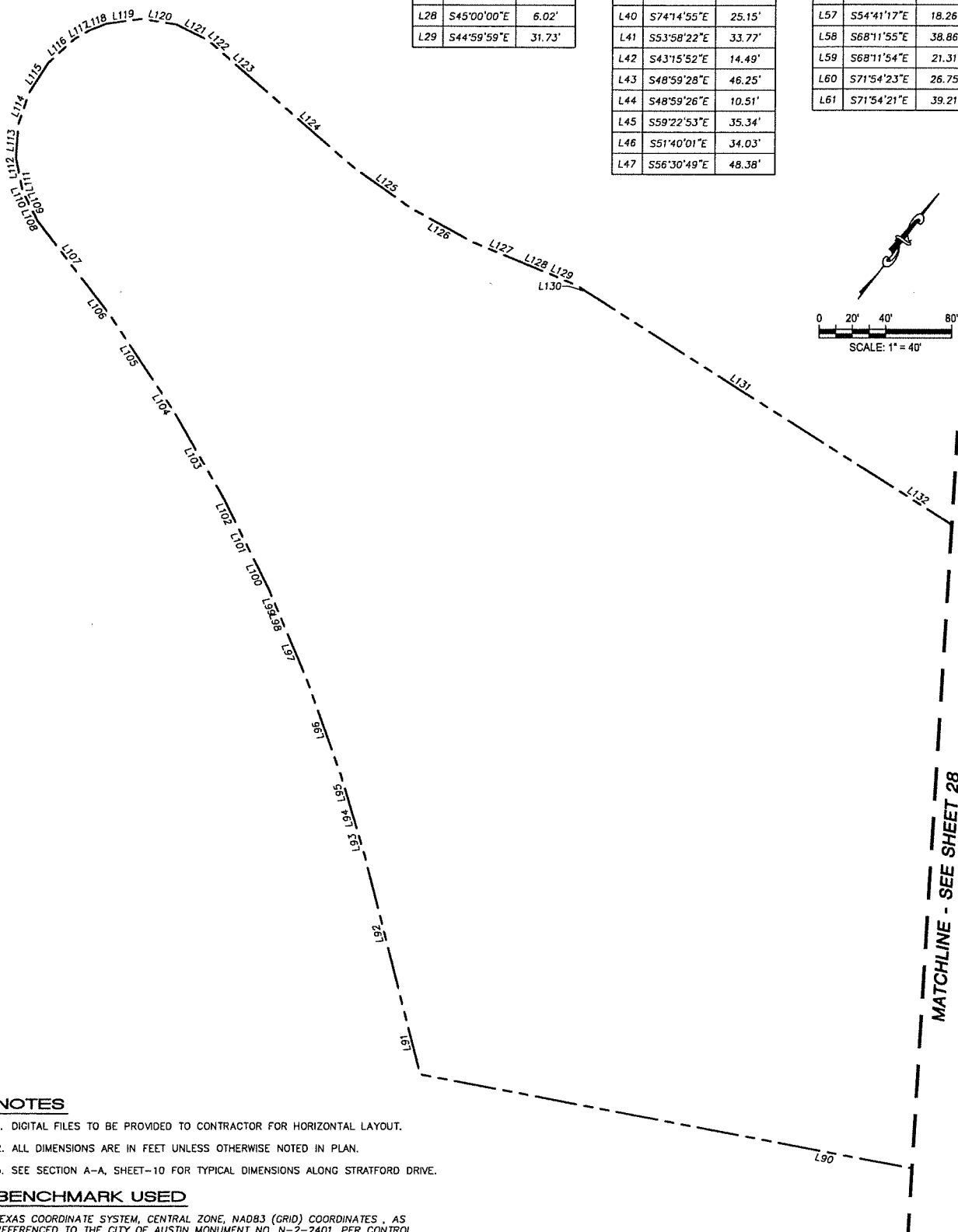
LINE TABLE		
NO.	BEARING	DISTANCE
L48	S35°32'15"E	10.68'
L49	S60°54'54"E	52.02'
L50	S60°54'54"E	61.63'
L51	S63°59'48"E	84.95'
L52	S69°18'18"E	12.11'
L53	S69°18'18"E	17.75'
L54	S77°19'10"E	19.83'
L55	S77°19'07"E	5.62'
L56	S85°36'09"E	16.19'
L57	S54°41'17"E	18.26'
L58	S68°11'55"E	38.86'
L59	S68°11'54"E	21.31'
L60	S71°54'23"E	26.75'
L61	S71°54'21"E	39.21'

LINE TABLE		
NO.	BEARING	DISTANCE
L62	S76°23'24"E	16.10'
L63	S76°23'25"E	32.58'
L64	S76°23'25"E	11.99'
L65	S81°40'28"E	25.72'
L66	S63°52'08"E	25.00'
L67	S63°52'09"E	11.64'
L68	S68°01'32"E	25.33'
L69	S68°01'32"E	12.82'
L70	S88°15'49"E	20.49'
L71	S66°22'16"E	43.36'
L72	S61°00'39"E	31.42'
L73	S61°00'39"E	21.09'
L74	S62°51'37"E	25.80'
L75	S62°51'37"E	57.21'
L76	S59°07'59"E	62.92'
L77	S65°57'56"E	48.46'
L78	S65°58'11"E	1.84'
L79	S68°57'44"E	34.58'
L80	S74°16'11"E	142.96'
L81	S66°15'00"E	98.00'
L82	S69°08'00"E	515.20'
L83	S62°38'00"E	403.40'
L84	S55°55'00"E	424.50'
L85	S71°30'00"W	106.00'
L86	S60°00'00"W	309.20'

LINE TABLE		
NO.	BEARING	DISTANCE
L112	N48°37'21"W	11.10'
L113	N33°28'56"W	20.39'
L114	N18°20'31"W	20.39'
L115	N4°56'50"W	20.89'
L116	N9°56'37"E	21.30'
L117	N22°53'09"E	10.68'
L118	N31°30'50"E	10.68'
L119	N44°27'14"E	21.30'
L120	N61°42'37"E	21.30'
L121	N78°57'51"E	21.30'
L122	S86°13'33"E	10.34'
L123	S86°13'35"E	29.98'
L124	S86°13'34"E	77.11'
L125	N88°04'14"E	42.41'
L126	N81°25'47"E	42.41'
L127	N75°11'11"E	33.63'
L128	N75°11'13"E	12.06'
L129	N75°11'12"E	21.75'
L130	N85°17'07"E	15.03'
L131	N85°17'06"E	201.79'
L132	N85°17'05"E	53.49'
L133	S86°28'20"E	31.59'
L134	S78°18'35"E	31.59'
L135	S70°08'53"E	31.59'
L136	S62°08'07"E	32.55'

LINE TABLE		
NO.	BEARING	DISTANCE
L162	N62°54'38"W	61.88'
L163	N66°35'23"W	13.38'
L164	N66°35'21"W	68.74'
L165	N66°36'55"W	0.15'
L166	N69°58'36"W	0.03'
L167	N69°48'28"W	61.68'
L168	N68°23'54"W	72.09'
L169	N68°23'55"W	128.31'
L170	N68°23'55"W	43.48'
L171	N68°23'55"W	61.24'
L172	N72°41'04"W	32.29'
L173	N78°08'16"W	44.05'
L174	N85°58'29"W	32.29'
L175	N89°10'02"W	11.34'
L176	N89°10'03"W	62.40'
L177	N82°41'14"W	18.69'
L178	N82°41'12"W	33.12'
L179	N76°02'31"W	51.81'
L180	N69°23'48"W	51.81'
L181	N63°24'59"W	41.46'
L182	N58°06'02"W	24.54'
L183	N58°06'02"W	16.92'
L184	N60°09'04"W	204.60'
L185	N60°09'04"W	223.21'
L186	N60°09'05"W	13.70'

LINE TABLE		
NO.	BEARING	DISTANCE
L212	N24°26'24"W	10.34'
L213	N18°16'46"W	54.51'
L214	N18°16'47"W	70.58'
L215	N23°05'17"W	2.79'
L216	N23°05'09"W	67.81'
L217	N27°01'02"W	40.35'
L218	N30°14'00"W	14.74'
L219	N30°13'59"W	35.69'
L220	N33°26'58"W	40.35'
L221	N36°39'59"W	50.44'
L222	N43°43'07"W	98.75'
L223	N50°36'59"W	158.98'
L224	N54°54'12"W	124.42'
L225	N54°54'12"W	59.06'
L226	N50°52'40"W	166.60'
L227	N45°17'39"W	161.26'
L228	N45°17'39"W	11.27'
L229	N39°54'47"W	25.91'
L230	N30°12'12"E	549.87'



LINE TABLE		
NO.	BEARING	DISTANCE
L87	S50°00'00"W	141.40'
L88	S38°00'00"W	151.40'
L89	S55°35'00"W	197.50'
L90	S63°30'00"W	499.60'
L91	N51°40'33"W	40.95'
L92	N51°40'33"W	95.65'
L93	N53°50'59"W	18.79'
L94	N53°51'03"W	11.82'
L95	N53°51'00"W	20.07'
L96	N56°57'53"W	60.82'
L97	N60°21'43"W	39.90'
L98	N57°51'44"W	0.01'
L99	N60°21'46"W	20.90'
L100	N63°45'37"W	22.14'
L101	N63°45'36"W	21.77'
L102	N63°45'36"W	16.91'
L103	N67°09'25"W	60.82'
L104	N70°50'16"W	15.59'
L105	N70°50'15"W	55.36'
L106	N74°48'06"W	13.61'
L107	N74°48'05"W	57.34'
L108	N63°45'49"W	5.08'
L109	N63°45'46"W	10.26'
L110	N63°45'47"W	5.05'
L111	N48°37'19"W	9.29'

LINE TABLE		
NO.	BEARING	DISTANCE
L137	S67°22'46"E	21.86'
L138	S75°18'52"E	32.77'
L139	S83°14'54"E	21.86'
L140	N88°24'24"E	26.81'
L141	N85°02'01"E	77.05'
L142	N85°02'01"E	131.96'
L143	N82°03'23"E	31.10'
L144	N76°26'15"E	20.74'
L145	N69°41'40"E	41.45'
L146	N60°42'17"E	19.72'
L147	N60°42'18"E	21.73'
L148	N55°15'46"E	26.75'
L149	N55°15'46"E	371.72'
L150	N43°35'07"E	20.15'
L151	N32°30'12"E	20.15'
L152	N21°25'10"E	20.15'
L153	N10°20'13"E	20.15'
L154	N0°44'44"W	20.15'
L155	N11°49'44"W	20.15'
L156	N25°40'56"W	30.17'
L157	N42°18'23"W	30.17'
L158	N56°46'59"W	40.72'
L159	N59°27'43"W	35.53'
L160	N59°27'43"W	36.46'
L161	N62°54'38"W	20.40'

LINE TABLE		
NO.	BEARING	DISTANCE
L187	N65°24'01"W	19.19'
L188	N65°23'59"W	31.06'
L189	N72°52'57"W	26.66'
L190	N72°52'55"W	23.59'
L191	N79°36'56"W	40.21'
L192	N85°36'06"W	40.21'
L193	S88°24'44"W	40.21'
L194	S83°00'45"W	60.08'
L195	N88°29'39"W	52.80'
L196	N81°16'22"W	52.80'
L197	N74°46'21"W	42.25'
L198	N77°54'56"W	105.08'
L199	N84°58'45"W	50.48'
L200	N89°52'35"W	40.39'
L201	S85°13'36"W	50.48'
L202	S79°47'07"W	50.48'
L203	S76°06'21"W	176.97'
L204	S76°06'22"W	167.25'
L205	S87°59'59"W	20.66'
L206	N81°59'30"W	20.66'
L207	N71°58'56"W	20.66'
L208	N61°58'28"W	20.66'
L209	N49°27'47"W	6.74'
L210	N49°27'45"W	24.21'
L211	N34°26'56"W	30.94'

NOTES

- DIGITAL FILES TO BE PROVIDED TO CONTRACTOR FOR HORIZONTAL LAYOUT.
- ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED IN PLAN.
- SEE SECTION A-A, SHEET-10 FOR TYPICAL DIMENSIONS ALONG STRATFORD DRIVE.

BENCHMARK USED

TEXAS COORDINATE SYSTEM, CENTRAL ZONE, NAD83 (GRID) COORDINATES . AS REFERENCED TO THE CITY OF AUSTIN MONUMENT NO. N-2-2401, PER CONTROL ESTABLISHED WITH VRS GPS OBSERVATIONS.

THESE PLANS ARE COMPLETE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH THE CITY OF AUSTIN DEVELOPMENT CODE.

SITE PLAN APPROVAL Sheet 29 of 29
 FILE NUMBER: SPC-2017-04820 APPLICATION DATE: 11/27/2017
 APPROVED BY COMMISSION ON _____ UNDER SECTION 142 OF
 CHAPTER 20-5 OF THE CITY OF AUSTIN CODE.
 EXPIRATION DATE (25-5-81, LDC) _____ CASE MANAGER N. HOELTER
 PROJECT EXPIRATION DATE (ORD.#970905-A) _____ OWPZ _____ DOZ _____

Director, Development Review Department
 RELEASE FOR GENERAL COMPLIANCE: _____ Zoning: _____
 Rev. 1 _____ Correction 1 _____
 Rev. 2 _____ Correction 2 _____
 Rev. 3 _____ Correction 3 _____

Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

DESIGNED BY: NAB/JCA	DATE: MARCH, 2018
DRAWN BY: JLC	NO.
CHECKED BY: PAB/TPB	REVISION
APPROVED BY: SAS	

ATKINS
 11801 DOMINION BOULEVARD, SUITE 500
 AUSTIN, TEXAS 78758 - (512) 337-6640
 TYPE REG. NO. F-474

ZILKER PARK
 AUSTIN CITY LIMITS STAGING AREA
 SITE DEVELOPMENT PERMIT PLANS

PLAT 5 AND LINE TABLES

SHEET NO. 29
 OF 29 SHEETS

FILE NO. 53691-16-BOUNDARY
 PROJECT NO. 100053691

SPC-2017-04820